

**VILLAGE OF DOWNERS GROVE
REPORT FOR THE VILLAGE COUNCIL MEETING
NOVEMBER 16, 2010 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
Lot Consolidation and Special Use for 4901 Belmont Road	<ul style="list-style-type: none"> ✓ Resolution ✓ Ordinance Motion Discussion Only 	Tom Dabareiner, AICP Community Development Director

SYNOPSIS

A resolution and an ordinance have been prepared to consolidate four existing lots into one lot and to approve a special use to permit two principal buildings on one property at 4901 Belmont Road.

STRATEGIC PLAN ALIGNMENT

The Goals 2013 identified *Preservation of Our Residential and Neighborhood Character*.

FISCAL IMPACT

N/A

RECOMMENDATION

Approval on the December 7, 2010 active agenda.

BACKGROUND

The 1.36 acre property, zoned R-6 Multiple Family Residence, is located on the east side of Belmont Road and north of Warren Avenue. On April 5, 2010 the second principal structure, a two-story 16-unit building (4901 Belmont Road) occupying the northern portion of the site, was destroyed by fire and was then demolished. The property consists of four lots of record and is currently improved with a 20-unit two-story multiple family building (4905 Belmont Road) located on the south side of the property and a 16-car garage located on the eastern portion of the property.

The petitioner is now proposing to construct a new 15-unit, three-story building to replace the structure that was destroyed by fire. To complete the project, the petitioner is requesting approval of the final plat of subdivision to consolidate the four lots into one new lot and a special use approval to permit two principal structures on one lot.

Proposed Building

The building that was destroyed by fire was legal nonconforming because it did not meet the north side yard setback, parking requirements and required lot area based on the number of units. The extent of the damage eliminates the owner's ability to repair the legal nonconforming building. Instead, the new building is required to comply with current zoning standards, which the petitioner is willing to do. To meet all zoning requirements, the petitioner is proposing a three story building with a smaller footprint and only 15 new units.

The proposed building would be located 25 feet from the front property line and 24.1 feet from the north side property line. The three-story 15-unit building would include nine one-bedroom units and six two-bedroom units. The 34.3-foot high structure would include exterior masonry construction and a hipped roof. Unlike the building that was destroyed by fire and the existing southern building, the proposed building would have an elevator, a full sprinkler system and an automated and manual fire alarm detection system. The building will comply with all applicable state and federal accessibility and fair housing acts.

Five parking spaces, including three handicapped spaces, occupy the eastern portion of the building's first floor. With the 16 parking spaces in the existing garage, there would be a total of 70 parking spaces on the property which meets the zoning requirement for all 35 residential units on the property.

The building would meet all zoning requirements as outlined in the table below:

4901 Belmont Road	Required	Proposed
Building		
Front Setback	25 ft.	25 ft.
Side Setback	24.1 feet	24.1 feet
Rear Setback	20 feet	65 feet
Distance to garage	10 feet	40 feet
Height	35 feet	34' - 4" feet
FAR	1.5 (89,557 sq. ft.)	.71 (42,212 sq. ft.)
Lot Coverage	40% (23,882 sq. ft.)	37 % (22,576.)
Lot Area (based on # and type of units)	59,705 sq. ft.	55,176 sq. ft.
New Parking Spaces		
Side Setback (north)	24.1 feet	24.1 feet
Rear Setback (west)	20 feet	47 feet
# of parking spaces required	70	70

Lot Consolidation

The property consists of four lots of record. As such the petitioner is required to consolidate the four lots prior to the construction of the new building. The new lot will meet all minimum lot dimension requirements per the subdivision ordinance, as outlined in the table below:

4901 Belmont Road - Lot Consolidation	Required	Proposed
Lot Area	10,500 sq. ft.	59,705 sq. ft.
Lot Width	75 ft.	240 ft.
Lot Depth	140 ft.	238.95 ft.
Lot Frontage	50 ft.	240 ft.

With the smaller footprint of the new building, the impervious area on the property will be reduced from approximately 44,015 square feet (73.7% of lot area) prior to fire to approximately 42,858 square feet (71.8% of lot area) after the new building is constructed. The petitioner is proposing to construct a bio-retention area in the southeast corner of the property to comply with the Village's and DuPage County's Best Management Practices (BMPs) for treatment of the stormwater runoff.

The Plan Commission considered the petition at its October 4, 2010 meeting. Several residents spoke at the meeting and expressed concern about the stormwater runoff southeast of the site. One of the residents submitted photographs (Exhibit A attached) indicating frequent flooding from the subject property. The Plan

Commission found the flooding was not directly resulting from the subject property. However, in response, Plan Commission requested the petitioner submit engineering calculations indicating that the stormwater runoff rate will indeed be reduced and will meet the Village's stormwater ordinance requirements. Additionally, the Plan Commission requested the petitioner explore other possibilities to further reduce the stormwater runoff rate and submit a detailed drawing of the proposed bio-retention area.

The petitioner has since submitted revised plans and engineering calculations (attached). Staff has reviewed the revised plans which demonstrate that the stormwater runoff rate will be reduced. Additionally, the petitioner is proposing to replace approximately 3,780 square feet of existing asphalt with new permeable pavers and install a perforated PVC underdrain pipe to further reduce and mitigate the stormwater runoff rate.

Based on its findings, the Plan Commission found that the proposal meets all standards for approval for the special use and recommended unanimous approval of the petition. Staff concurs with the Plan Commission recommendation.

ATTACHMENTS

Aerial Map

Resolution and Ordinance

Staff Report with attachments dated September 13, 2010

Minutes of the Plan Commission Hearing dated September 13, 2010

Exhibit A – Submittal from Resident Kevin Kane

RESOLUTION _____

**A RESOLUTION APPROVING THE FINAL
PLAT OF SUBDIVISION FOR 4901 BELMONT ROAD**

WHEREAS, application has been made pursuant to the provisions of Chapter 20 of the Downers Grove Municipal Code for the approval of the Final Plat of Subdivision for 4901 Belmont Road, located on the east side of Belmont Road, approximately 450 feet north of the intersection of Belmont Road and Warren Avenue, Downers Grove, Illinois, legally described as follows:

Lots 437, 438, 439 and 440 in Branigar Brothers Wooded Homesites, being a subdivision in the north half of Section 7, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat thereof recorded October 2, 1920 as Document 144598, in DuPage County, Illinois.

Commonly known as 4901 Belmont Road, Downers Grove, IL 60515 (PIN # 08-12-212-011).

WHEREAS, notice has been given and hearing held on October 4, 2010 regarding this plat application pursuant to the requirements of the Downers Grove Municipal Code; and,

WHEREAS, the Plan Commission has recommended approval of the Final Plat of Subdivision for 4901 Belmont Road as requested, subject to certain conditions.

NOW, THEREFORE, BE IT RESOLVED by the Village Council of the Village of Downers Grove that the Final Plat of Subdivision for 4901 Belmont Road, be and is hereby approved subject to the following:

1. The proposed lot consolidation shall substantially conform to the Belmont Avenue Subdivision Plat prepared by Ruettinger, Toneli & Associates, Inc. dated September 1, 2010, last revised September 9, 2010, attached to the Staff Report dated October 4, 2010 except as such plan may be modified to conform to Village codes, ordinances, and policies.

BE IT FURTHER RESOLVED, that the Mayor and Village Clerk are authorized to sign the Final Plat of Subdivision.

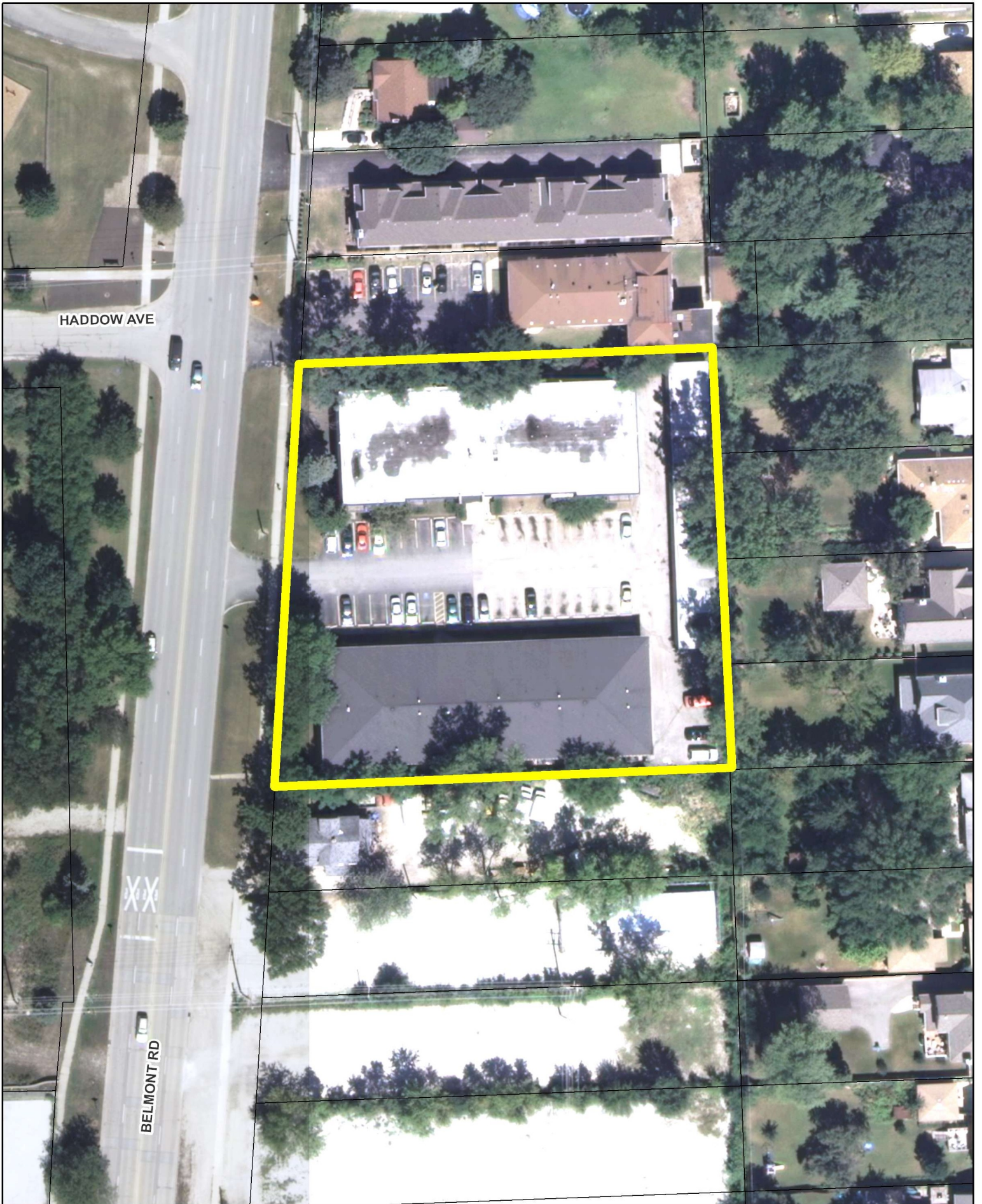
BE IT FURTHER RESOLVED, that this resolution shall be in full force and effect from and after its adoption in the manner provided by law.

Mayor

Passed:

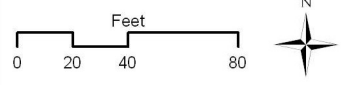
Attest: _____

Village Clerk



HADDOW AVE

BELMONT RD



4901 Belmont Road



**VILLAGE OF DOWNERS GROVE
REPORT FOR THE PLAN COMMISSION
OCTOBER 4, 2010 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
PC-09-10 4901 Belmont Road	Final Plat of Subdivision & Special Use for Two Principle Structures on One Lot	Damir Latinovic, AICP Planner

REQUEST

The petitioner is requesting approval of the Final Plat of Subdivision to consolidate four lots into one new lot and a Special Use to permit two principal buildings on one property at 4901 Belmont Road.

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

OWNER: DLM Management
P.O. Box 656
Hinsdale, IL 60521

APPLICANT: Mark J. Rupsis
Rupsis Associates Architects, P.C.
956 Summit Creek Drive
Sherwood, IL 60404

PROPERTY INFORMATION

EXISTING ZONING: R-6, Multiple Family Residence
EXISTING LAND USE: Residential
PROPERTY SIZE: 59,705 square feet (1.362 acres)
PIN: 08-12-212-011

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
North:	R-6, Multiple Family Residence	Residential (11-25 D.U./Acre)
South:	B-2, General Retail Business	Commercial
East:	R-3, Single Family Residence	Residential (0-6 D.U./Acre)
West:	B-2, General Retail Business	Residential (11-25 D.U./Acre)

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development:

1. Application/Petition for Public Hearing
2. Project Summary
3. Plat of Survey
4. Plat of Subdivision
5. Architectural Drawings

PROJECT DESCRIPTION

The subject property is located on the east side of Belmont Road north of Warren Avenue. The 1.36 acre property is zoned R-6 Multiple Family Residence and consists of four lots of record. The property is currently improved with a 20-unit two-story multiple family building (4905 Belmont Road) located on the south side of the property and a 16-car garage located on the eastern portion of the property. On April 5, 2010 the second principal structure, a two-story 16-unit building (4901 Belmont Road) occupying the northern portion of the site, was destroyed by fire and had to be demolished. This structure was legal nonconforming because it did not meet the north side yard setback, parking requirements and required lot area based on the number of units.

The petitioner is proposing to construct a new 15-unit, three-story building to replace the structure that was destroyed by fire. To complete the project, the petitioner is requesting approval of the final plat of subdivision to consolidate the four lots into one new lot and a special use approval to permit two principal structures on one lot.

Lot Consolidation

The property consists of four lots of record. The proposed building would be located across the shared property line of the northern two lots. As such the petitioner is required to consolidate all lots. The proposal will meet all minimum lot dimension requirements.

Proposed Building

The proposed building would be located 25 feet from the front property line and 24.1 feet from the north side property line. The three-story 15-unit building would include nine one-bedroom units and six two-bedroom units. The 34.3-foot high structure would include exterior masonry construction and a hipped roof. Unlike the building that was destroyed by fire and the existing southern building, the proposed building would have an elevator and would comply with all applicable state and federal accessibility and fair housing acts.

Five parking spaces, including three handicapped spaces, occupy the eastern portion of the building's first floor and are connected to the rest of the existing parking lot. The petitioner is also proposing ten new parking spaces south and east of the proposed building. With the 16 parking spaces in the existing garage, there would be a total of 70 parking spaces on the property which meets the zoning requirement for all 35 residential units on the property.

The footprint of the proposed building is smaller than the footprint of the old building that was destroyed by fire. As such, the lot coverage on the property is reduced from 42.3% (25,287 sq. ft.) to 37% (22,576 sq. ft.) which meets the maximum allowed 40%.

The property will maintain one driveway access to Belmont Road at its current location.

COMPLIANCE WITH FUTURE LAND USE PLAN

The Future Land Use Plan designates the site as Residential with 11-25 units per acre. With the proposed 15 units in the north building and 20 existing units in the south building, the 1.36 acre property will have a density of 25.69 units per acre.

The property is surrounded by multiple family residential use to the north and single family residences to the east. A commercial property is located south of the site while a commuter parking lot occupies the property west of the site across Belmont Road. The proposed multiple family building is compatible with surrounding uses and the current trend of development near the Belmont Road train station. The proposed development is consistent with the Future Land Use Plan.

COMPLIANCE WITH ZONING ORDINANCE

The property is zoned R-6, Multiple Family Residence district. Before the fire, the property was legal nonconforming because it contained two principal structures on four lots of record. The old 16-unit building also did not meet the north side yard setback, parking requirements and lot area requirements. To meet all zoning requirements, the petitioner is proposing a three story building with a smaller footprint and only 15 new units. If approved, the proposed lot consolidation and special use will bring the property in full compliance with the zoning ordinance.

The zoning requirements are outlined in the table below:

4901 Belmont Road	Required	Proposed
Building		
Front Setback	25 ft.	25 ft.
Side Setback	24.1 feet	24.1 feet
Rear Setback	20 feet	65 feet
Distance to garage	10 feet	40 feet
Height	35 feet	34' - 4" feet
FAR	1.5 (89,557 sq. ft.)	.71 (42,212 sq. ft.)
Lot Coverage	40% (23,882 sq. ft.)	37 % (22,576.)
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New Parking Spaces		
Side Setback (north)	24.1 feet	24.1 feet
Rear Setback (west)	20 feet	47 feet
# of parking spaces required	70	70

The petitioner is currently not proposing any change to the location of the garbage dumpsters which are currently located in the southeast corner of the property. Due to construction of the bio-retention swale in this area, if the project is approved, staff is recommending including a condition that the garbage dumpsters be relocated to the area northeast of the new building for easier access. If relocated, the garbage dumpster area will have to be screened on all four sides with a solid six-foot high fence to comply with the requirements of the zoning ordinance.

COMPLIANCE WITH SUBDIVISION ORDINANCE

The petitioner is requesting approval of the final plat of subdivision to consolidate the four existing lots into one new lot. The new lot conforms to all aspects of the Subdivision Ordinance, and no exceptions are being requested by the petitioner. The petitioner will provide new five-foot wide public utility and drainage easements along the side lot lines.

No new public improvements are required at this time. The lot dimensions of the new lot are summarized in the table below:

4901 Belmont Road Lot Consolidation	Required	Proposed
Lot Area	10,500 sq. ft.	59,705 sq. ft.
Lot Width	75 ft.	240 ft.
Lot Depth	140 ft.	238.95 ft.
Lot Frontage	50 ft.	240 ft.

ENGINEERING/PUBLIC IMPROVEMENTS

The petitioner is not proposing any major site improvements. The footprint of the new building (7,851 sq. ft.) is smaller than the footprint of the old building (10,345 sq. ft.) which was destroyed by fire. The petitioner is proposing to add new asphalt area to connect the existing parking lot with the new parking area on the first floor of the proposed building. As such, the petitioner is required and is proposing to construct approximately 500-square foot bio-retention area for compliance with the DuPage County’s Best Management Practices (BMPs) for treatment of the stormwater runoff.

The petitioner is proposing two new parking lot islands, currently indicated as striped asphalt, for better traffic circulations. Staff is including a condition that the proposed islands be converted to landscaped green space with curb and gutter.

PUBLIC SAFETY REQUIREMENTS

The Fire Prevention Division of the Fire Department has reviewed the proposed plans and has not noted any life-safety concerns. The proposed building will be fully sprinkled, including the first floor parking area, and equipped with a manual and automatic fire alarm system.

NEIGHBORHOOD COMMENT

Staff has not received any written neighborhood comment regarding the proposal at this time.

FINDINGS OF FACT

The proposed lot consolidation meets the minimum lot dimension requirements per the Subdivision Ordinance as outlined above. The proposed development will comply with all requirements of the Zoning Ordinance and is also consistent with the Future Land Use Plan to preserve the property for residential use.

Staff believes the standards for a Special Use, as shown below, have been met. The proposed use will not be detrimental to the health, safety, morals or general welfare. Staff believes the proposed building is similar to the building previously destroyed by fire and will not have a negative effect on surrounding properties. The proposed multiple family building is compatible with the surrounding area and will not have an adverse impact on the development or the existing trend of development in the area. The proposal will eliminate all nonconformities previously associated with the north building that was destroyed by fire and comply with all zoning requirements for the B-3 district.

Section 28.1902 Standards for Approval of Special Uses

The Village Council may authorize a special use by ordinance provided that the proposed Special Use is consistent and in substantial compliance with all Village Council policies and land use plans, including but not limited to the Comprehensive Plan, the Future Land Use Plan and Master Plans and the evidence presented is such as to establish the following:

- (a) *That the proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.*
- (b) *That such use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.*
- (c) *That the proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located or will comply with any variation(s) authorized pursuant to Section 28-1802.*
- (d) *That it is one of the special uses specifically listed for the district in which it is to be located.*

RECOMMENDATIONS

The proposed Special Use for multiple principal buildings on one lot and a final plat of subdivision to consolidate the existing lots into one new lot is compatible with surrounding zoning and land use classifications. Based on the findings listed above, staff recommends the Plan Commission make a positive recommendation to the Village Council regarding this petition subject to the following conditions:

1. The proposed lot consolidation and special use request shall substantially conform to the architectural plans prepared by Rupsis Associates Architects, P.C. dated September 3, 2010, and engineering plans prepared by Ruettiger, Toneli & Associates, inc. dated September 2, 2010 attached to this report except as such plans may be modified to conform to Village codes, ordinances, and policies.
2. Prior to issuance of the building permit, engineering calculations must be submitted demonstrating compliance with the Stormwater Ordinance and DuPage County's Best Management Practices for treatment of the stormwater run-off.
3. The two interior striped islands shall be converted to full landscaped islands with curb, gutter and landscaped materials.
4. The garbage dumpster area shall be relocated to the area northeast of the new building. A six-foot high solid fence shall be installed around the garbage dumpster area.

Staff Report Approved By:

Tom Dabareiner, AICP
Director of Community Development

TD:dl
-att

.....
DLM Management

P.O. Box 656
Hinsdale, Illinois 60522
Phone 1 630 887 0594
Fax 1 630 887 0214

July 1, 2010

Village of Downers Grove
801 Burlington Avenue
Downers Grove, Illinois 60515

Re: Belmont Road Apartments
4901 Belmont Road
Downers Grove, Illinois

To Whom It May Concern:

I hereby authorize Mark J. Rupsis of Rupsis Associates Architects, P.C. to act as an agent on behalf of DLM Management, owner of the property at 4901 – 4905 Belmont Road, Downers Grove, Illinois, for the purpose of obtaining a special use permit, variances and building permit for the reconstruction of the fire damaged building at 4901 Belmont Road, Downers Grove, Illinois.

Sincerely,



Darlene Auerbach

.....



RUPSIS ASSOCIATES ARCHITECTS, P.C.

September 2, 2010

Project Summary Reconstruction of: 4901 Belmont Road Downers Grove, Illinois

I. Overview

This project consists of the reconstruction of a fifteen (15) unit apartment building destroyed in a fire. There were two main buildings on the site, owned by DML Management of Hinsdale, Illinois. 4901 Belmont Avenue was a two-story sixteen unit apartment building, constructed around 1970, according to the original plans. At the same time, 4905 Belmont Avenue, a two-story twenty (20) unit apartment building, was constructed. Also on the lot is a sixteen car garage building. These buildings were constructed, and in apparent accordance with the building and zoning codes, at the same time. In the early 1990's, the 4905 Belmont Road building suffered a catastrophic fire, and was destroyed. It was reconstructed in apparent accordance with the building and zoning codes at the time. On April 5, 2010, the 4901 Belmont Road building suffered a catastrophic fire, and was destroyed, except for the foundation of the building. Due to current zoning regulations, the building will need to be reconstructed in a different configuration. As such, the foundation for the original building will be demolished as well. A new three-story 15 unit building is now being planned for the 4901 Belmont Road building. In order to reconstruct the 4901 Belmont Road building in accordance with current building and zoning codes, a special use permit is required. This submission to the Village of Downers Grove is for approval of the special use permit.

II. Special Use Permit

Current zoning code only allows for one principal building to be constructed on a single zoning lot. The garage building is an accessory structure, and therefore is allowed. The original buildings and the reconstruction of the 4905 Belmont Road building in the early 1990's were either allowed under the zoning ordinance in force at the time, or was approved by the village under a special use permit or variance. The owner, D.L.M. Management, wishes to reconstruct the building for their and their tenant's use and enjoyment. The standards for approval for a special use, along with our response, are as follows (taken from the Village of Downers Grove Zoning Ordinance):

- (a) That the proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.

Response: The building has been in existence for approximately forty years, and has provided affordable, comfortable homes for Downers Grove residents, some for as long as 22 years.

PAGE 1 OF 2

(b) That such use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.

Response: The building will be reconstructed per current building, energy and accessibility codes, making it safer, more responsible and accessible for residents of Downers Grove. The reconstruction will improve the value of the property for the owner.

(c) That the proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located or will comply with any variation(s) authorized pursuant to Section 28-1802.

Response: The proposed use is consistent with the R-6 zoning district.

(d) That it is one of the special uses specifically listed for the district in which it is to be located.

Response: The proposed use is consistent with the R-6 zoning district.

We respectfully request approval of a special use permit to reconstruct a second principal building on the site.

Respectfully submitted,
RUPSIS ASSOCIATES ARCHITECTS, P.C.

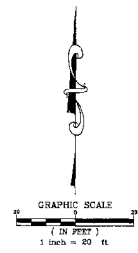
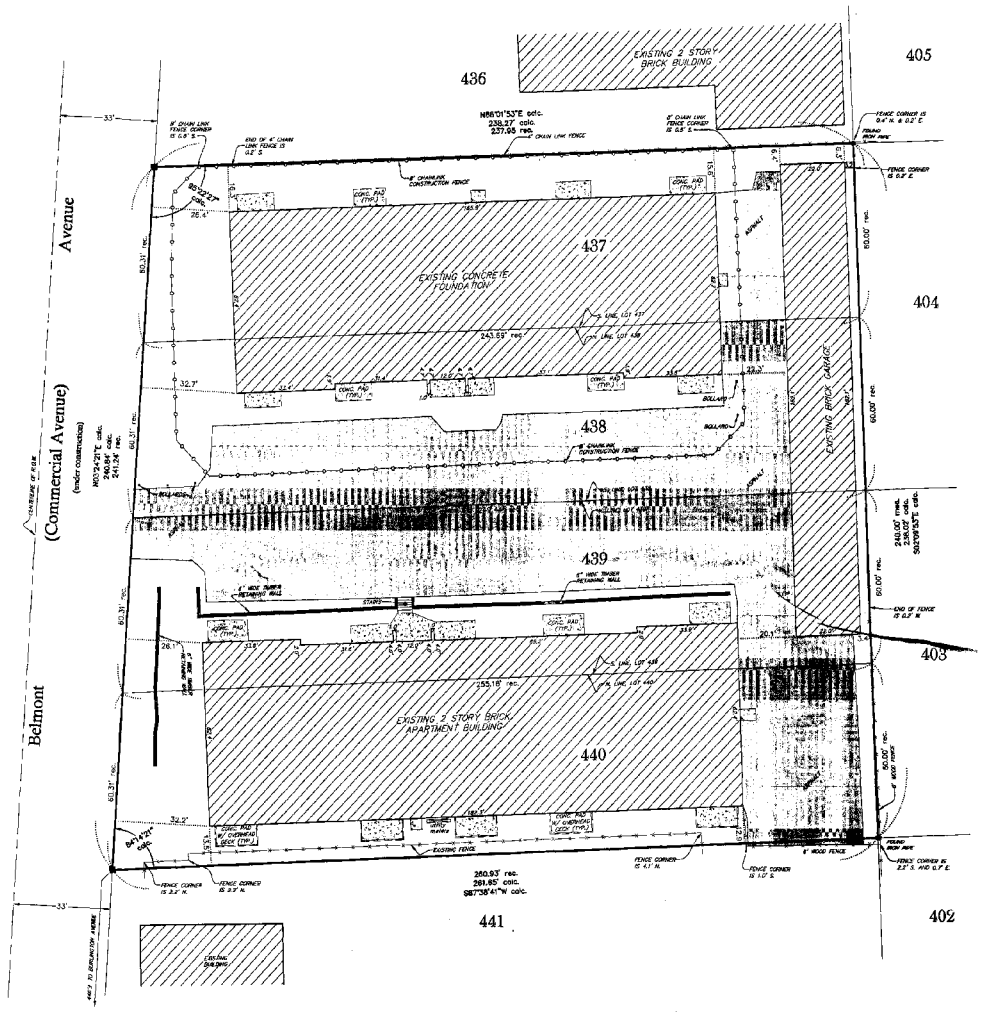


Mark J. Rupsis, ALA
President

PLAT OF SURVEY

LEGAL DESCRIPTION
 LOTS 437, 438, 439 AND 440 IN BRANIGAN BROTHERS WOODED HOMESITES, BEING A SUBDIVISION IN THE NORTH HALF OF SECTION 7, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 2, 1920 AS DOCUMENT 14488 IN DUPAGE COUNTY, ILLINOIS.

LOCAL MAILING ADDRESS:
 402 BELMONT DRIVE
 DOWNERS GROVE, IL



- LEGEND
- RECORDED
 - RECORDED
 - CALCULATED
 - FOUND SURVEY MONUMENT SET OTHERS
 - SET OF SURVEY MONUMENTS
 - DIVERGENCE POINT

- NOTES:
- 1) NO BUILDING SETBACK LINE IS INDICATED ON THE PLAT OF S. BOYSSON.
 - 2) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT T.E.L.F. P.O.C.Y.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

ANY DISCREPANCY IN MEASUREMENT DESCRIBED UNDER THIS SURVEY SHOULD BE IMMEDIATELY REPORTED TO THE SURVEYOR FOR EXPLANATION OR CORRECTION.
 FOR BUILDING LINE AND OTHER INFORMATION NOT SHOWN HEREON REFER TO YOUR ARCHITECT, ENGINEER, CONTRACTOR AND LOCAL JURISDICTION.

STATE OF ILLINOIS)
 COUNTY OF WILL)
 RUEITGER, TONELLI & ASSOCIATES, INC., ILLINOIS PROFESSIONAL DESIGN FIRM NO. 194-001251, HEREBY CERTIFIES THAT IT HAS SURVEYED THE PROPERTY DESCRIBED IN THE ABOVE CAPTION AND AS SHOWN ON THE ANNEXED PLAT, WHICH IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.
 SURVEY FIELD WORK COMPLETED 6-17-2010
 DRAWN UNDER MY HAND AND SEAL THIS _____ DAY OF _____
 BY _____ ILLINOIS PROFESSIONAL LAND SURVEYOR. MY LICENSE NUMBER IS 30-2890. IN EXERCISE AUTHORITY OF THIS CHARTER, IT MUST BE PLACED IN THE CORNER OF THE SURVEY FILE OR PROFESSIONAL LICENSE HAS EXPIRED HAS EXPIRED.

REVISIONS		
No.	DATE	DESCRIPTION

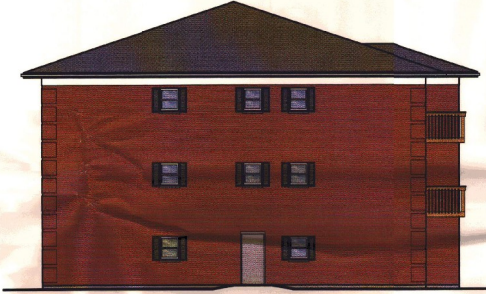
RT Ruetigger, Tonelli & Associates, Inc.
 Surveying Equipment Factory - Industry 12500000 CIES Occasions
 2174 ORBIDA STREET - AUSTIN, ILLINOIS 60448
 PH: (815) 330-0800 FAX: (815) 334-0401
 WWW: WWW.RTASURVEYING.COM

DATE: 7-1-2010 SCALE: 1" = 20' DRAWN BY: R.P. CHECKED BY: D.T.
 PREPARED FOR: RUPPE ASSOCIATES ARCHITECTS FIELD BOOK: 70-32
 835 S. MARY CIRCLE DRIVE PLAGE: 51-50
 SHOREWOOD, ILLINOIS 60464 DRAWING NO.:
 DRAWING TITLE: PLAT OF SURVEY 310-0709-1S

11/20/2010 10:00:00 AM C:\Users\p3333333\Desktop\310-0709-1S.dwg Model: 7/20/11 11:55:54 AM Ruetiger



Rear (North) Elevation
SCALE - 1/8" = 1'-0"



Left Side (West) Elevation
SCALE - 1/8" = 1'-0"



Right Side (East) Elevation
SCALE - 1/8" = 1'-0"



Front (South) Elevation
SCALE - 1/8" = 1'-0"

Thursday, September 02, 2010 4:23 PM
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RUPFS ASSOCIATES ARCHITECTS, P.C.
MARK J. RUPFS, ARCHITECT
955 SHAWNEE DRIVE
SHOREWOOD, ILLINOIS 60494
815.291.5202 FAX: 815.291.5764
WWW.RUPFS.COM

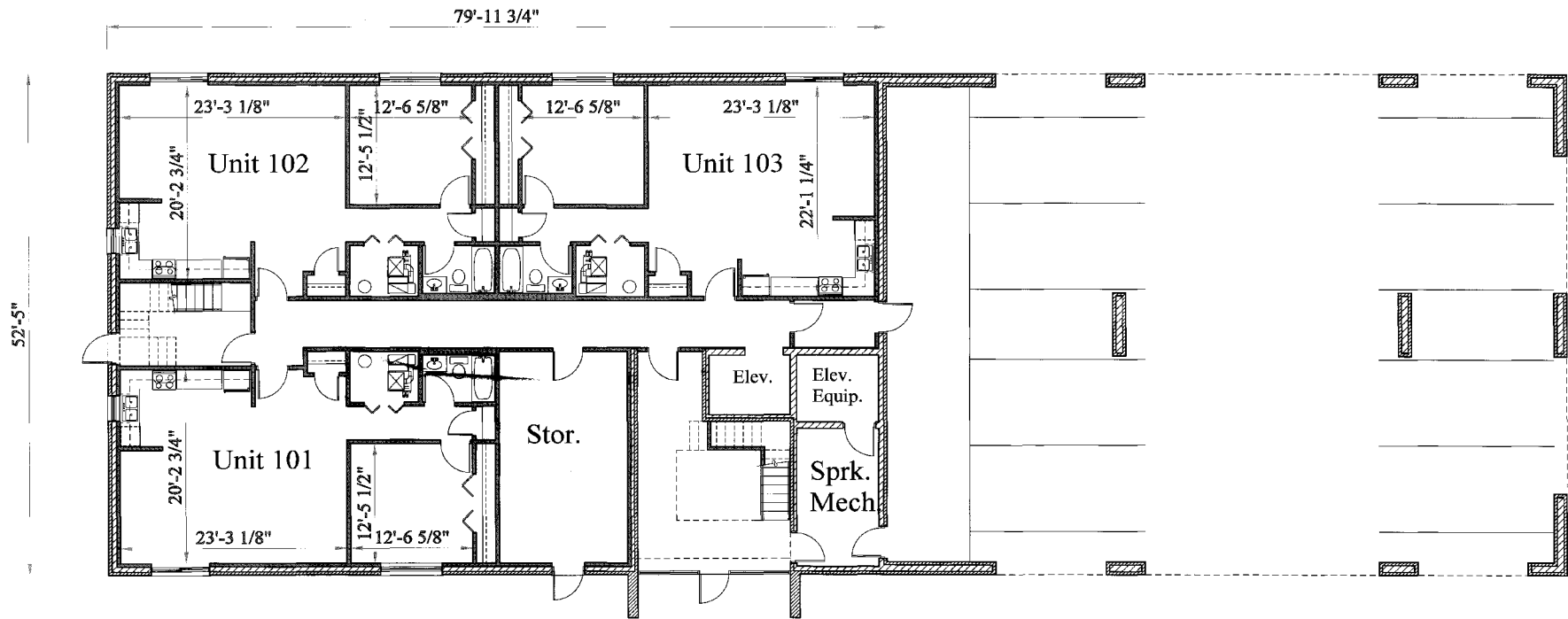


Reconstruction of a Two Story Sixteen Unit Apartment Building for
DLM Management
4901 Belmont Road
Downers Grove, Illinois 60515
630-887-0594

Issued for:	Date
SPECIAL USE	5-2-10
SPECIAL USE	5-3-10
Revisions	Date



Elevations
Drawn by: PJK
Checked by: PJK
Job no: 1005.06
Sheet: **A-1**



First Floor Plan

Scale - 3/16" = 1'-0"



RUPSI ASSOCIATES ARCHITECTS, P.C.

MARK J. RUPPEL, ARCHITECT
 928 SHAWNEE CREEK DRIVE
 SHERWOOD, ILLINOIS 60404
 815.282.3202 FAX: 630.405.6764
 WWW.RUPSI.COM

Reconstruction of a Two Story Staircase Unit Apartment Building for:

DLM Management

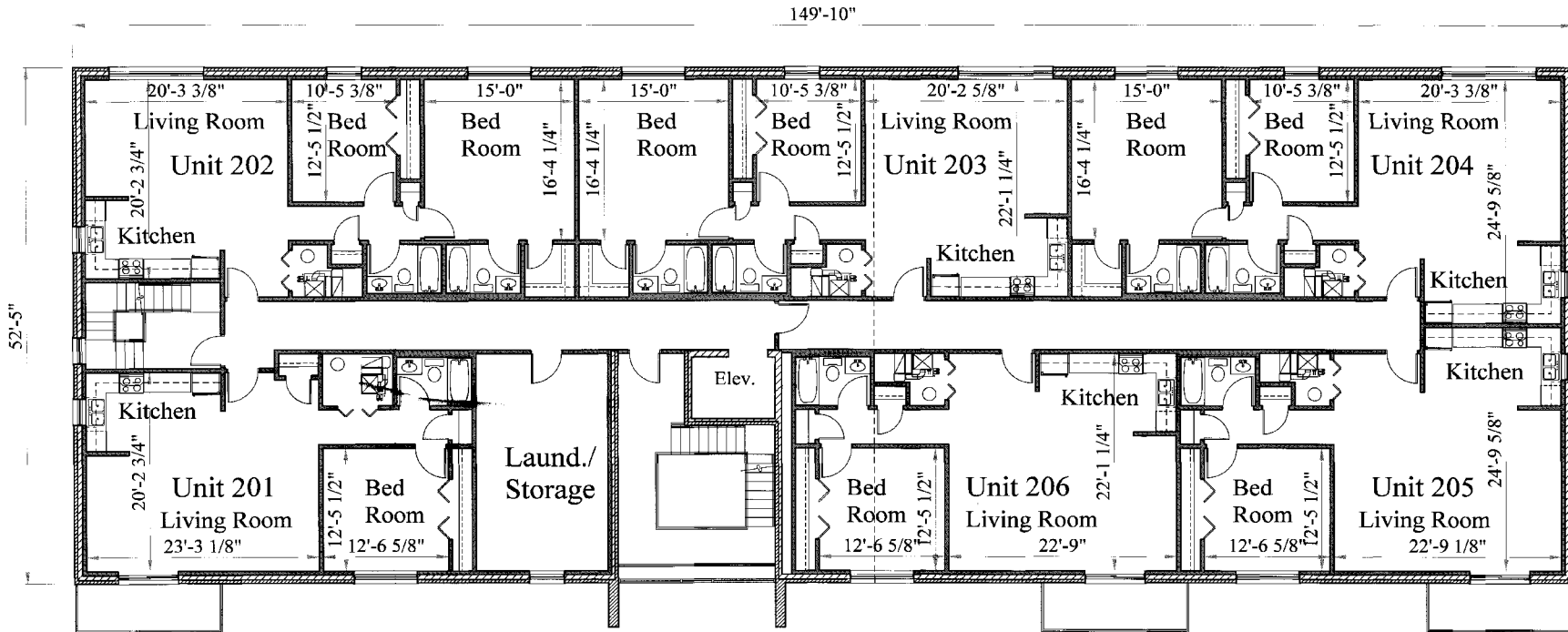
4901 Belmont Road
 Downers Grove, Illinois 60515
 630-887-0594

Issued for:	Date

Revisions	Date

First Floor Plan

Drawn by: MJR	Checked by: MJR
Job no: 1005.06	
Sheet: A-2	



Second Floor Plan

Scale - 3/16" = 1'-0"



RUPPIS ASSOCIATES ARCHITECTS, P.C.
 MARK J. RUPPIS, ARCHITECT
 955 SHAWNEE CREEK DRIVE
 SHOREWOOD, ILLINOIS 60494
 822.284.1100 FAX 822.284.7074
 WWW.RUPPIS.COM

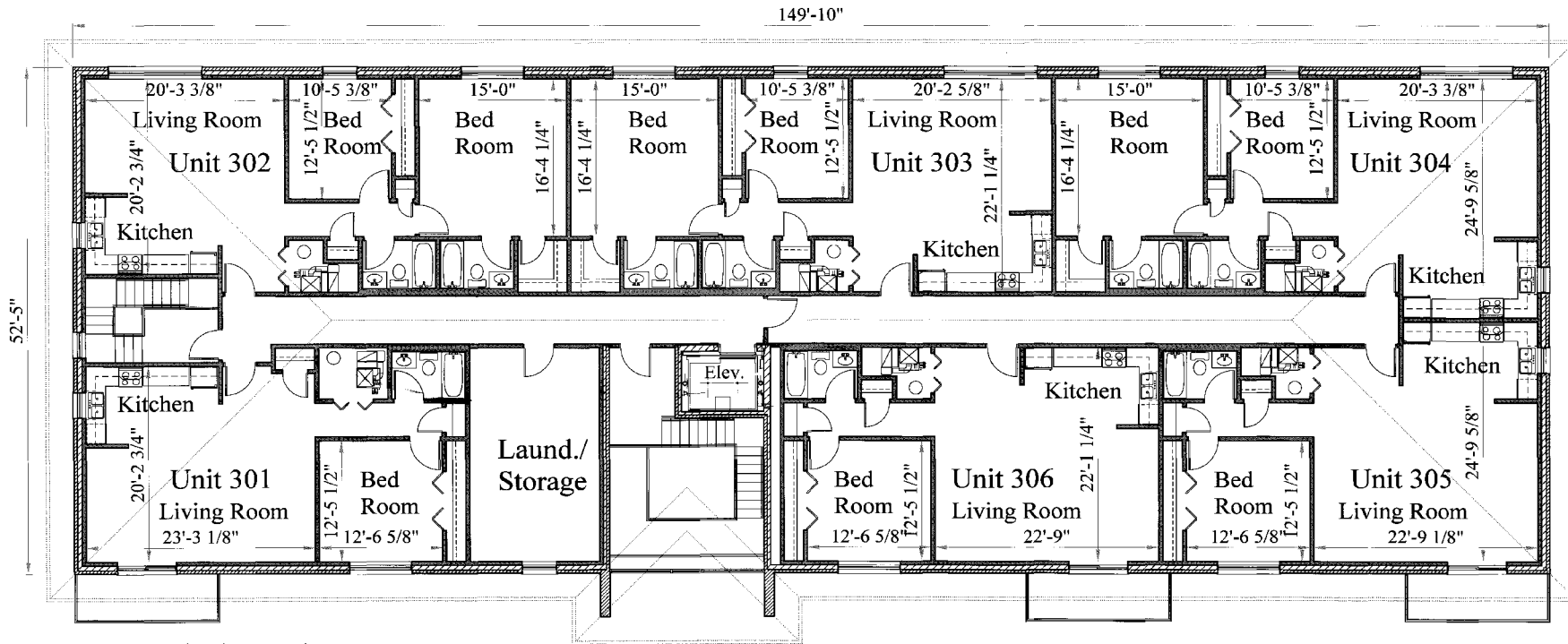
Reconstruction of a Two Story Sixteen Unit Apartment Building for:
DLM Management
 4901 Belmont Road
 Downers Grove, Illinois 60515
 630-887-4594

Issued for:	Date
ISSUE FOR PERMIT	7-1-10
ISSUE FOR CONSTRUCTION	8-3-10

Revisions	Date

Second Floor Plan

Drawn by: HJR Checked by: HJR
 Job no: 1005.06
 Sheet: **A-3**



Third Floor Plan

Scale - 3/16" = 1'-0"



RUPSS ASSOCIATES ARCHITECTS, P.C.

MARK J. RUPP, ARCHITECT
 955 S. LAKE CREEK DRIVE
 SKOKIE, ILLINOIS 60074
 848.380.5202 FAX: 848.465.6764
 WWW.RUPSS.COM

Reconstruction of a Two Story Fitness Unit Apartment Building for:

DLM Management

4901 Belmont Road
 Downers Grove, Illinois 60015
 630-887-0394

Issued for:	Date

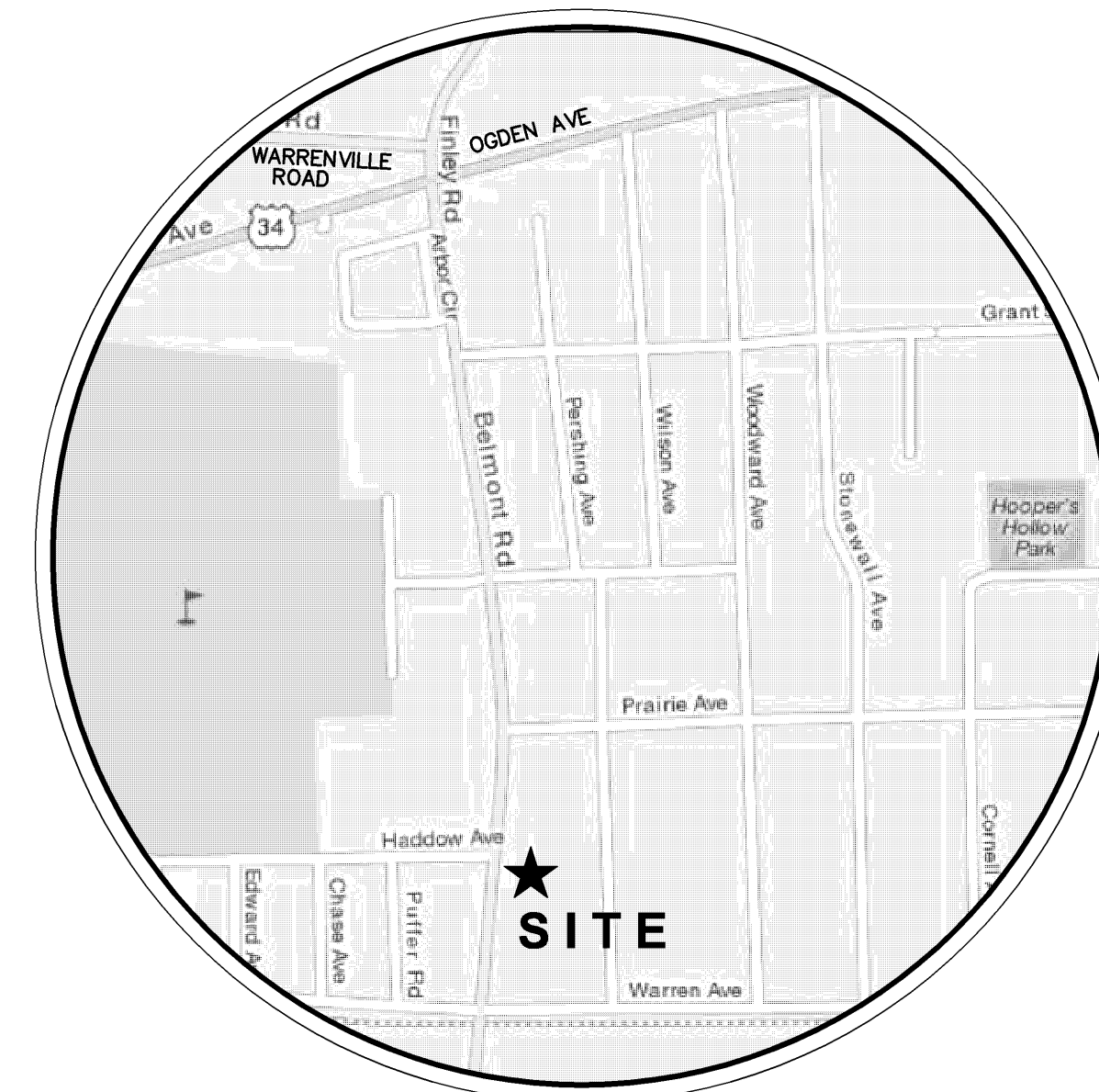
Revisions	Date

Third Floor Plan

Drawn by: MJR	Checked by: MJR
Job no: 1005.06	
Sheet: A-4	

Improvement Plans for 4901 BELMONT DRIVE

Village of Downers Grove DuPage County, Illinois



SITE LOCATION MAP
NOT TO SCALE

INDEX OF ENGINEERING SHEETS	
SHEET No.	DESCRIPTION
1.)	COVER SHEET
2.)	EXISTING CONDITIONS AND DEMOLITION PLAN
3.)	GEOMETRY PLAN
4.)	ENGINEERING SITE PLAN GEOMETRY PLAN
5.)	GENERAL NOTES AND CONSTRUCTION DETAILS

LAND SURVEYOR / ENGINEER:
RUETTIGER, TONELLI & ASSOCIATES, INC.
2174 ONEIDA STREET
JOLIET, ILLINOIS 60435
Ph. (815) 744-6600

OWNER / DEVELOPER:
RUP SIS ASSOCIATES ARCHITECTS
956 SUMMIT CREEK DRIVE
SHOREWOOD, ILLINOIS 60404
Ph. (815) 280-5202

JULIE 1-800-892-0123 TOLL FREE
JOINT UTILITY LOCATING
INFORMATION FOR EXCAVATORS

Call 48 hours before you dig

INCLUDE FOLLOWING INFORMATION

• County, City Section & 1/4 Section No. OR • County, Township, Section & 1/4 Section No. • Owners name and firm • Firm address	• Can be reached phone no. • Best time to call • Location of proposed excavation • Type and extent of work • Starting time and date
---	---

NOTES:
1.) PROPERTY LINE GEOMETRY AND EASEMENTS DEPICTED ON THE IMPROVEMENT PLANS DO NOT NECESSARILY REPRESENT THE FINAL GEOMETRY AND EASEMENTS SHOWN ON THE MOST RECENT PLAT OF SUBDIVISION. REFER TO THE PLAT OF SUBDIVISION FOR THIS INFORMATION.

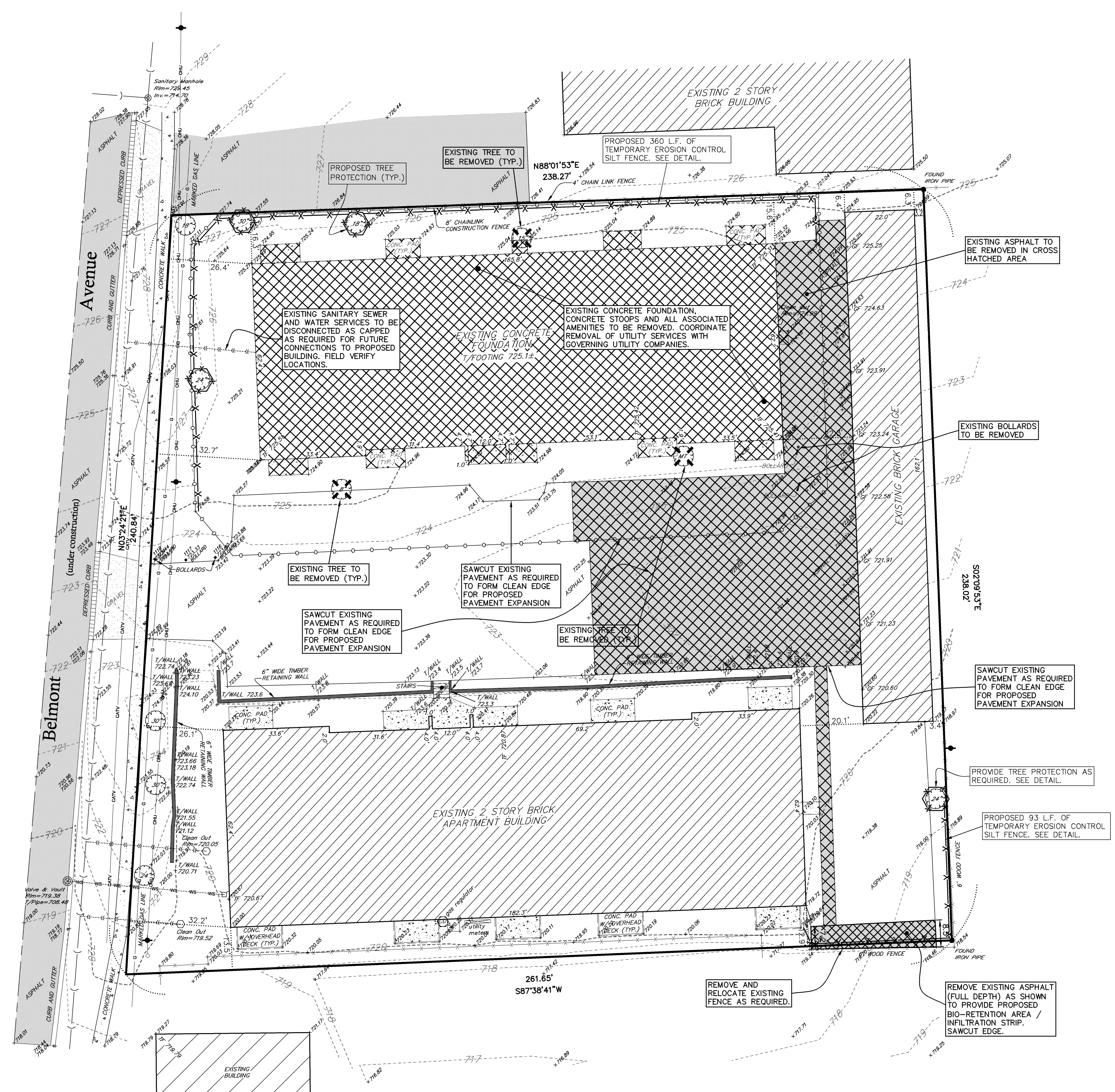
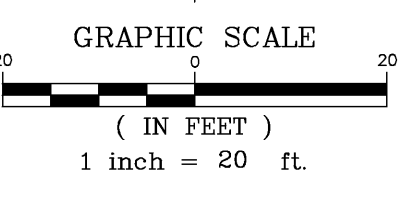
2.) DUE TO THE UNCERTAINTY OF SEASONAL GROUND WATER TABLES AND THE GEOPHYSICAL CONDITIONS AFFECTING GROUND WATER MOVEMENT, RUETTIGER, TONELLI & ASSOCIATES TAKES NO RESPONSIBILITY FOR THE MANAGEMENT OF GROUND WATER ASSOCIATED WITH SUB-GRADE CONSTRUCTION. BASEMENTS OR OTHER LIKE FACILITIES CONSTRUCTED BELOW THE FINISHED SURFACE GRADE OF THE PROPERTY ARE AT THE RISK OF THE BUILDER/OWNER.

BENCHMARK:
GEODETIC SURVEY MONUMENT #L112002 ESTABLISHED IN WEST CONCRETE WALK AT THE NORTHWEST CORNER OF THE BRIDGE OVER ST. JOSEPH CREEK STAMPED DU-PAGE COUNTY MAPS AND PLATS.
ELEVATION = 692.8125 (NGVD29)

R E V I S I O N S				D O C U M E N T A T I O N				P R O J E C T T I T L E		D R A W I N G T I T L E	
No.	DATE	DESCRIPTION	BY	No.	DATE	DESCRIPTION	BY	IMPROVEMENT PLANS FOR 4901 BELMONT DRIVE DOWNERS GROVE, IL		COVER SHEET	
0	7-1-2010	ISSUED FOR REVIEW	R.P.	PROJECT No.:	20100709						
1	7-2-2010	REVISED PARKING PER CLIENT	ECH	DATE:	6-22-2010						
2	9-2-2010	REVISED NORTH BUILDING PER CLIENT	R.P.	FIELD BOOK:	FB. 28-33, P. 51-52						
3	10-18-2010	REVISED PER VILLAGE REVIEW	ech	DRAWN BY:	R.P.						
				CHECKED BY:	D.J.Z						



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LEGEND

- + xxx.xx EXISTING SPOT ELEVATION
- - - - - EXISTING CONTOUR
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- ▨ EXISTING CONCRETE AREA
- ▩ EXISTING GRAVEL AREA
- ▧ EXISTING ASPHALT AREA
- |— EXISTING TOP OF FOUNDATION
- |— EXISTING GARAGE FLOOR
- |— EXISTING TOP OF WALL
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY CLEAN OUT
-) EXISTING SANITARY SEWER
-) EXISTING SANITARY SERVICE
-) EXISTING WATER MAIN B-BOX
-) EXISTING WATER MAIN SERVICE
-) EXISTING FENCE LINES (AS NOTED)
-) EXISTING CABLE TV UNDERGROUND LINES
-) EXISTING OVERHEAD UTILITY
-) EXISTING DEPRESSED CURBS (AS NOTED)
- EXISTING TREE (W/ SIZE)
- EXISTING TREE (MULTI TRUNK)
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE PROTECTED
- ▨ EXISTING PAVEMENT TO BE REMOVED
- x— PROPOSED SILT FENCE

BENCHMARK:
 GEODETIC SURVEY MONUMENT #L112002 ESTABLISHED IN
 WEST CONCRETE WALK AT THE NORTHWEST CORNER OF
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REVISIONS			
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3	10-18-2010	REVISED PER VILLAGE REVIEW	ech

DOCUMENTATION:
 PROJECT No.: 20100709
 DATE: 6-22-2010
 FIELD BOOK: FB. 28-33, P. 51-52
 DRAWN BY: R.P.
 CHECKED BY: DJZ



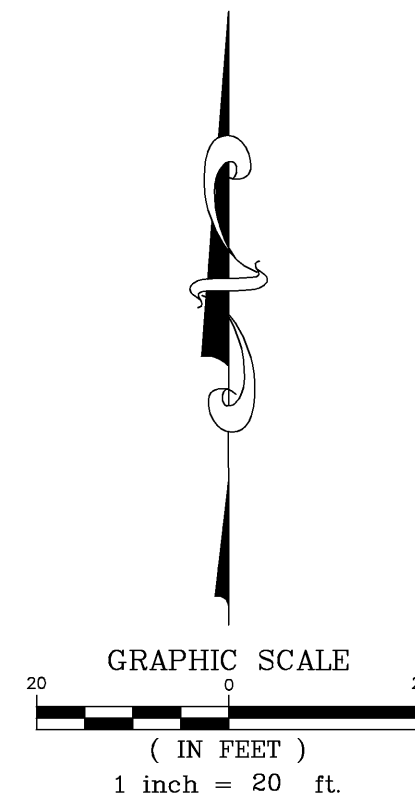
Ruettiger, Tonelli & Associates, Inc.
 Surveyors • Engineers • Planners • Landscape Architects • G.I.S. Consultants
 2174 ONEIDA STREET - JOLIET, ILLINOIS 60435
 PH. (815) 744-6600 FAX (815) 744-0101
 website: www.ruettigertonnelli.com

PROJECT TITLE:
**IMPROVEMENT PLANS FOR
 4901 BELMONT DRIVE
 DOWNERS GROVE, IL**

DRAWING TITLE:
**EXISTING CONDITIONS AND
 DEMOLITION PLAN**

DRAWING No.
 310-0709-C1
SCALE:
 AS NOTED
ENGINEERING DEPARTMENT
SHEET 2 OF 5

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PARKING AREA SUMMARY

18' x 9' SPACES = 49
 18' x 9' SPACES UNDER PROPOSED BUILDING = 2
 A.D.A. SPACES = 3
 EXISTING GARAGE AREA SPACES = 16

TOTAL PARKING SPACES PROVIDED = 70
 TOTAL PARKING SPACES REQUIRED = 70
 (PER ARCHITECTURAL PLANS)

LOT AREA SUMMARY

PROPOSE/EXISTING ASPHALT = 22,366 s.f.
 EXISTING GARAGE = 3,567 s.f.
 EXISTING BUILDING = 11,164 s.f.
 PROPOSED BUILDING = 4,648 s.f.
 PROPOSED/EXISTING CONCRETE = 1,113 s.f.

TOTAL IMPERVIOUS AREA = 42,858 s.f.
 TOTAL LOT AREA = 59,705 s.f.
 LOT COVERAGE = 71.8%

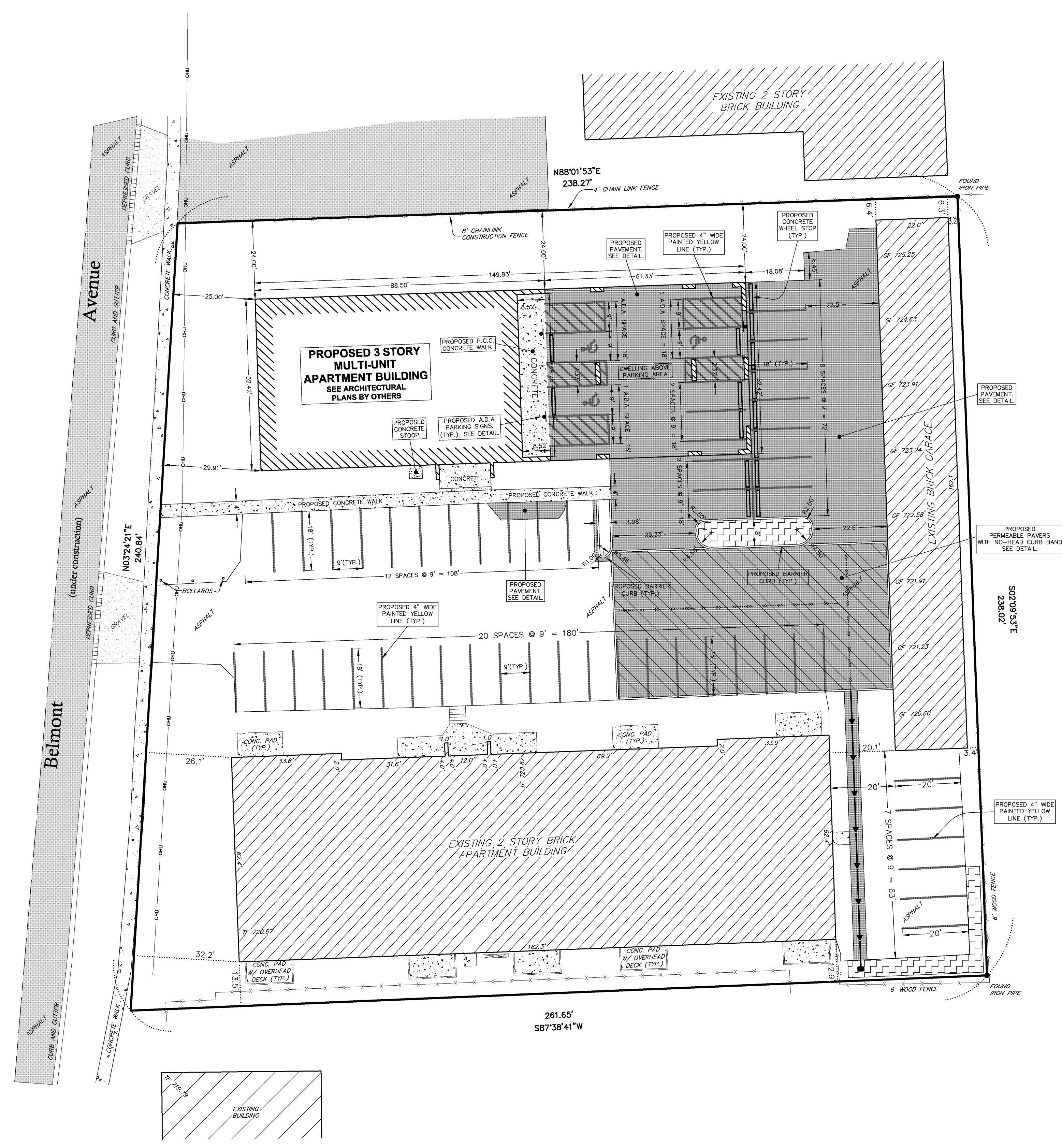
GEOMETRIC PLAN NOTES

- THESE PLANS HAVE BEEN PREPARED WITHOUT THE USE OF A FULL SET OF ARCHITECTURAL PLANS FOR THIS PROJECT. RUETTIGER, TONELLI & ASSOC. TAKES NO RESPONSIBILITY FOR DISCREPANCIES BETWEEN THESE PLANS AND THE FINAL ARCHITECTURAL PLANS.
 FOR THE FOLLOWING ITEMS, REFER TO THE ARCHITECTURAL PLANS:
 BUILDING DIMENSIONS
 STRUCTURAL DESIGN AND DETAILS
 CONCRETE SURFACE JOINTING DESIGN AND DETAILS
 BUILDING SERVICE LOCATIONS
 ROOF DRAINAGE CONNECTIONS
 SITE LIGHTING DESIGN AND DETAILS
 SITE SIGNAGE DESIGN AND DETAILS
 LANDSCAPE DESIGN AND DETAILS
 CONSTRUCTION MANAGEMENT, SCHEDULING AND / OR PHASING
 ALL ITEMS ON THESE PLANS NOTED "SEE ARCHITECTURAL PLANS"
- ALL PARKING STALL, SAFETY ISLAND, NO PARKING AREAS AND CROSSWALK STRIPING SHALL BE 4 INCH WIDE STANDARD I.D.O.T. YELLOW. DIAGONAL STRIPING SHALL BE 2 FT. ON CENTER.
- ALL SIGNS SHALL MEET THE REQUIREMENTS AND STANDARDS OF THE U.S. DEPT. OF TRANSPORTATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION; THE ILLINOIS ADMINISTRATIVE CODE, LATEST ADDITION; AND ALL LOCAL ORDINANCES.
- UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE SHOWN TO THE BACK OF THE CURBLINE.

LEGEND

EXISTING ASPHALT PAVEMENT
 EXISTING ASPHALT PAVEMENT
 PROPOSED ASPHALT PAVEMENT
 PROPOSED PERMEABLE PAVERS

BENCHMARK:
 GEODETIC SURVEY MONUMENT #L112002 ESTABLISHED IN WEST CONCRETE WALK AT THE NORTHWEST CORNER OF THE BRIDGE OVER ST. JOSEPH CREEK STAMPED ON PAGE COUNTY MAPS AND PLATS.
 ELEVATION = 692.8125 (NGVD29)



REVISIONS

No.	DATE	DESCRIPTION	BY
0	7-1-2010	ISSUED FOR REVIEW	R.P.
1	7-2-2010	REVISED PARKING PER CLIENT	ECH
2	9-2-2010	REVISED NORTH BUILDING PER CLIENT	R.P.
3	10-18-2010	REVISED PER VILLAGE REVIEW	ech

DOCUMENTATION:

PROJECT No.: 20100709
 DATE: 6-22-2010
 FIELD BOOK: FB. 28-33, P. 51-52
 DRAWN BY: R.P.
 CHECKED BY: DJZ

RT & A
Ruettiger, Tonelli & Associates, Inc.
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 2174 ONEIDA STREET - JOLIET, ILLINOIS 60435
 PH. (815) 744-6600 FAX (815) 744-0101
 website: www.ruettigertonnelli.com

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**IMPROVEMENT PLANS FOR
 4901 BELMONT DRIVE
 DOWNERS GROVE, IL**

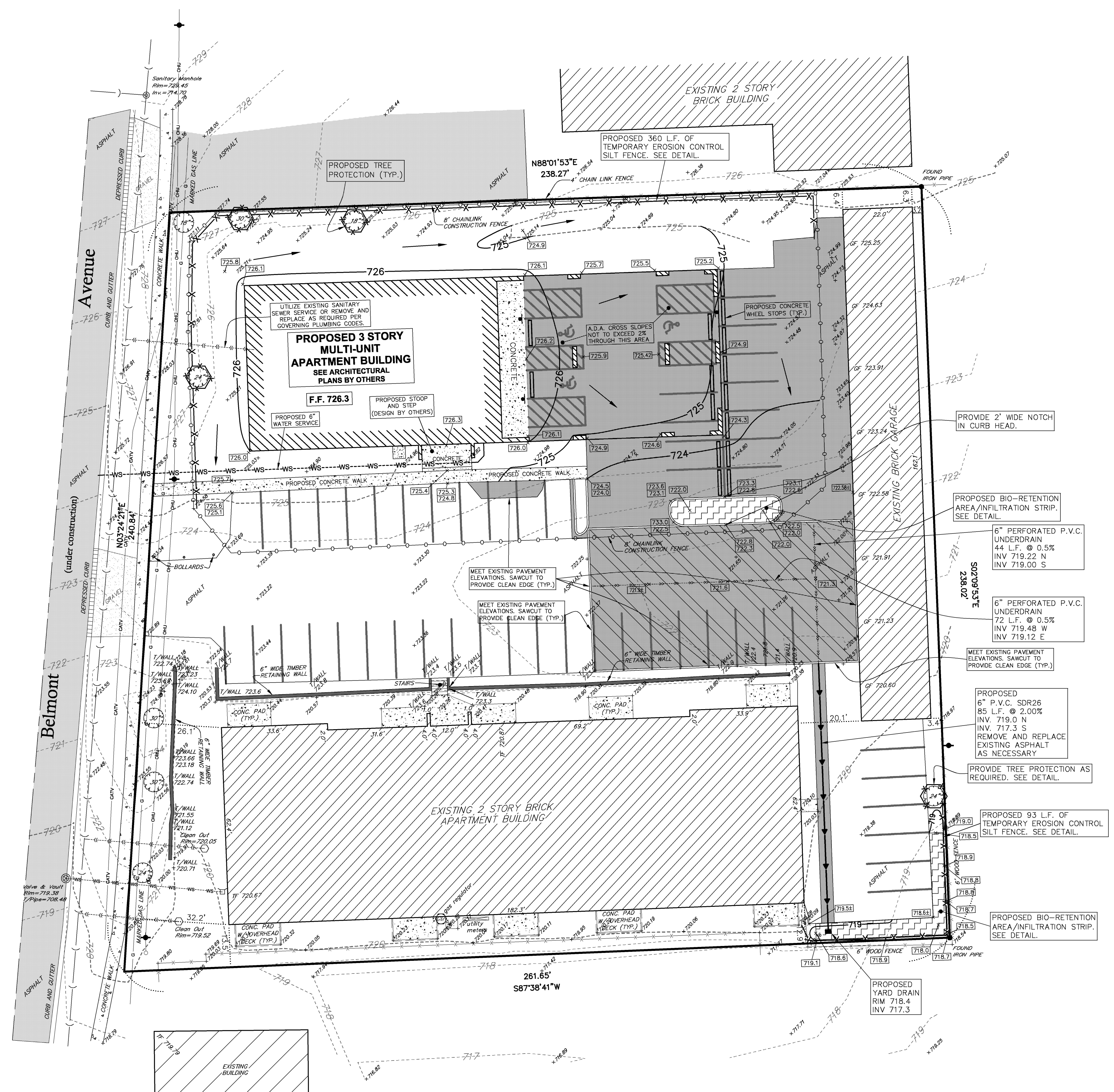
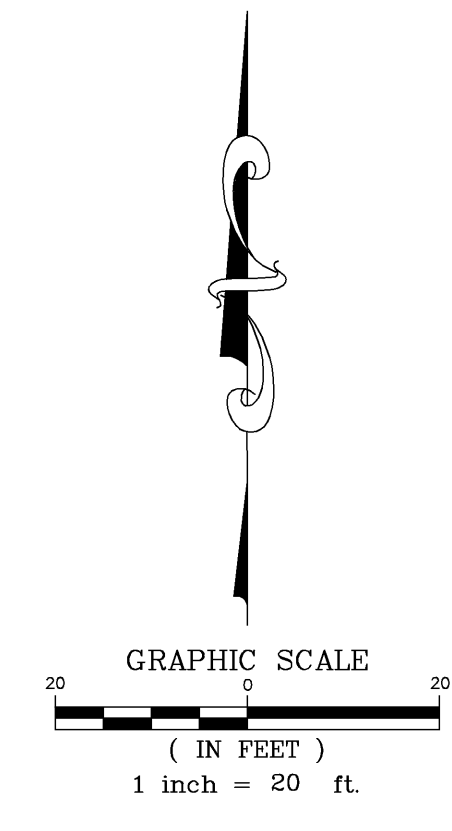
DRAWING TITLE:
GEOMETRY PLAN

DRAWING No.
 310-0709-C1

SCALE:
 AS NOTED

ENGINEERING DEPARTMENT
SHEET 3 OF 5

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LEGEND

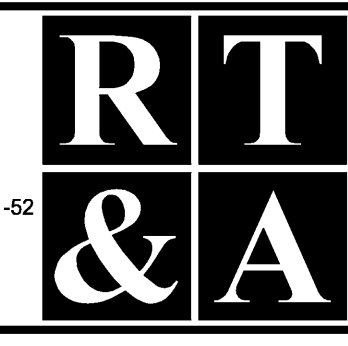
+ XXXXX	EXISTING SPOT ELEVATION
---	EXISTING CONTOUR
—●—	EXISTING UTILITY POLE
○	EXISTING GUY WIRE
—○—	EXISTING CONCRETE AREA
□	EXISTING GRAVEL AREA
■	EXISTING ASPHALT AREA
IT	TOP OF FOUNDATION
GF	GARAGE FLOOR
T/WALL	TOP OF WALL
F.F.	FINISHED FLOOR
○	EXISTING SANITARY MANHOLE
○	EXISTING SANITARY CLEAN OUT
—○—	EXISTING SANITARY SEWER
—○—	EXISTING SANITARY SERVICE
—○—	EXISTING WATER MAIN B-BOX
—○—	EXISTING WATER MAIN SERVICE
—○—	EXISTING FENCE LINES (AS NOTED)
—○—	EXISTING CABLE TV UNDERGROUND LINES
—○—	EXISTING OVERHEAD UTILITY
—○—	EXISTING DEPRESSED CURBS (AS NOTED)
○	EXISTING TREE (W/ SIZE)
○	EXISTING TREE (MULTI TRUNK)
○	EXISTING TREE TO BE PROTECTED
■	PROPOSED ASPHALT PAVEMENT
XXX	PROPOSED ELEVATION PER THIS PLAN
XXX	PROPOSED TOP OF WALK ELEVATION
XXX	PROPOSED TOP OF PAVEMENT FLOW LINE
XXX	PROPOSED CONTOUR FOR THIS PLAN
---	DIRECTION OF OVERLAND FLOW
---	PROPOSED SILT FENCE
■	PROPOSED PERMEABLE PAVERS
—○—	PROPOSED STORM SEWER
XXX	PROPOSED REMOVE AND REPLACE PAVEMENT

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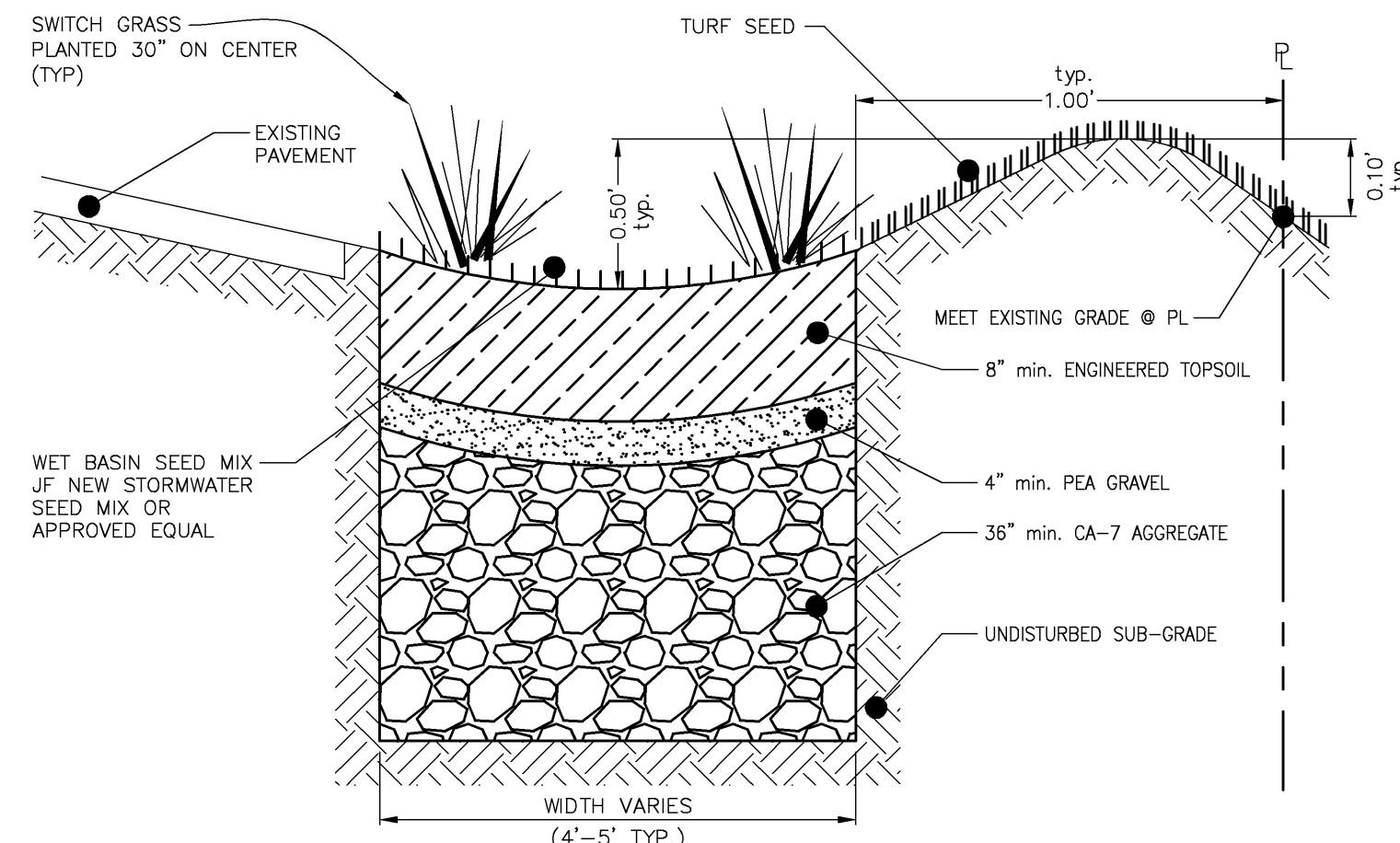
DRAWING TITLE:
ENGINEERING SITE PLAN

DRAWING No.
 310-0709-C1
SCALE:
 AS NOTED
ENGINEERING DEPARTMENT
SHEET 4 OF 5

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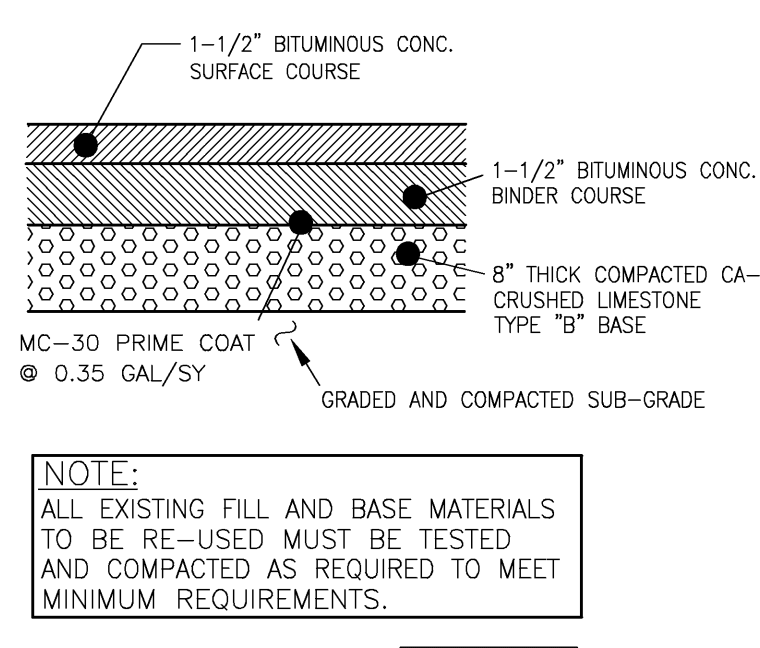
EROSION CONTROL NOTES

1. EROSION CONTROL TO BE APPLIED PER THE ILLINOIS PROCEDURES FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL MANUAL, LATEST EDITION.
 2. THE TEMPORARY EROSION CONTROL SYSTEMS INSTALLED BY THE CONTRACTOR SHALL BE PROPERLY MAINTAINED AS DIRECTED BY THE CITY TO CONTROL SITUATION AT ALL TIMES DURING THE LIFE OF THE CONTRACT.
 3. ALL STORM SEWER STRUCTURES WITH OPEN GRATES SHALL BE TEMPORARILY COVERED WITH A FILTER FABRIC. STRUCTURES IN GRASS AREAS MAY HAVE STRAW BALES OR SILT FENCE PLACED AROUND THEM IN LIEU OF FABRIC.
 4. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN (7) SEVEN CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE. RE-DISTURBANCE, CONSISTENT WITH THE FOLLOWING CRITERIA. APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION MEASURES SHALL INCLUDE SEEDING, MULCHING, SODDING AND / OR NON-VEGETATIVE MEASURES.
 5. ALL EROSION CONTROL ITEMS REMAIN IN PLACE AND BE MAINTAINED UNTIL DEEMED UNNECESSARY BY THE OWNER / DEVELOPER AND THE CITY AT WHICH TIME THE EROSION CONTROL ITEMS SHALL BE COMPLETELY REMOVED FROM THE SITE BY THE INSTALLER.
 6. ALL DISTURBED AREAS NOT SPECIFICALLY IDENTIFIED FOR LANDSCAPING IMPROVEMENTS OR IMPERVIOUS SURFACE TREATMENTS SUCH AS PAVEMENTS, DRIVES, PATIOS, STOODS, SIDEWALKS OR WALKWAYS SHALL BE FINISHED WITH A MINIMUM OF 6" OF TOPSOIL AND RESTORED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST ADDITION AS FOLLOWS:
 - CLASS 2 SEED PER SECTION 250.
 - FERTILIZED NUTRIENTS IN THE RATIO OF 1:1:1 OF NITROGEN, PHOSPHORUS AND POTASSIUM EACH, ALL AT THE RATE OF 60 LBS/ACRE IN ACCORDANCE WITH SECTION 250.
 - METHOD 2 MULCH PER SECTION 251.
 - CONTRACTOR SHALL MAINTAIN RESTORED AREA AS NEEDED UNTIL GERMINATION IS COMPLETED AND THE OWNER, OR LOCAL AGENCY HAVING JURISDICTION, HAS ACCEPTED THE WORK.
 7. FOR EACH PHASE OF WORK, THE CONTRACTOR RESPONSIBLE FOR THAT WORK IS TO PROVIDE QUALIFIED PERSONNEL WHO SHALL INSPECT:
 - DISTURBED AREAS OF THE CONSTRUCTION SITE WHICH HAVE NOT BEEN STABILIZED WITH IMPERVIOUS MATERIALS OR VEGETATIVE GROUND COVER.
 - STRUCTURAL CONTROL MEASURES (I.E. SILT FENCE, GRATE FABRIC, ETC.).
 - OFF SITE ROADS AND ON SITE PAVEMENTS WHICH THE CONTRACTOR'S VEHICLES AND OR EQUIPMENT OPERATE.
- SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT THAT HAS 0.5 INCHES OR MORE OF PRECIPITATION.
- ALL INSPECTIONS SHALL BE IN CONFORMANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN INSPECTION REQUIREMENTS.

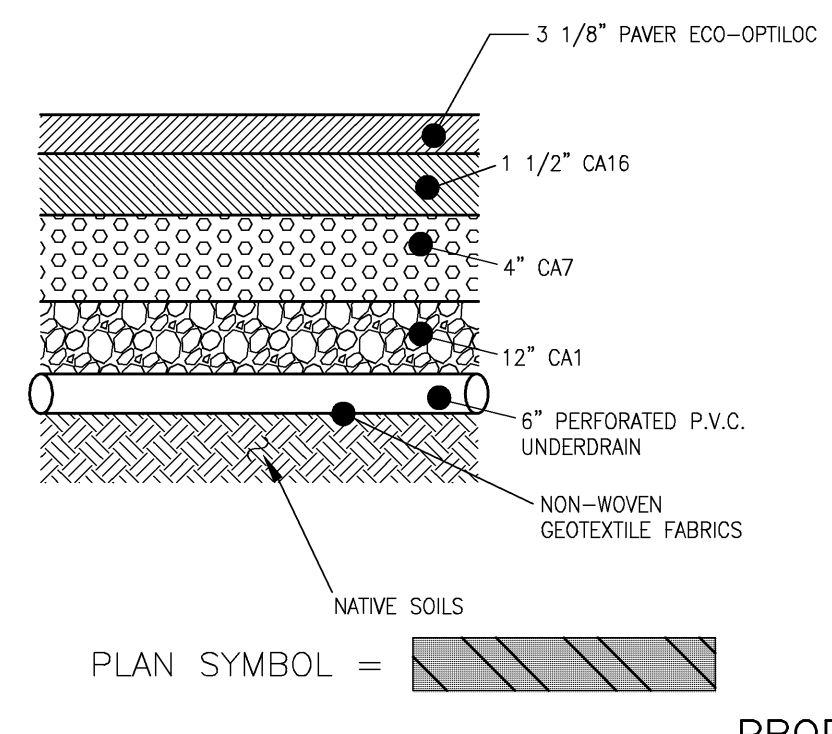


NOTES
1. ENGINEERED SOIL TO CONSIST OF:
- 30% SAND & 15% PEAT MOSS OR EQUAL

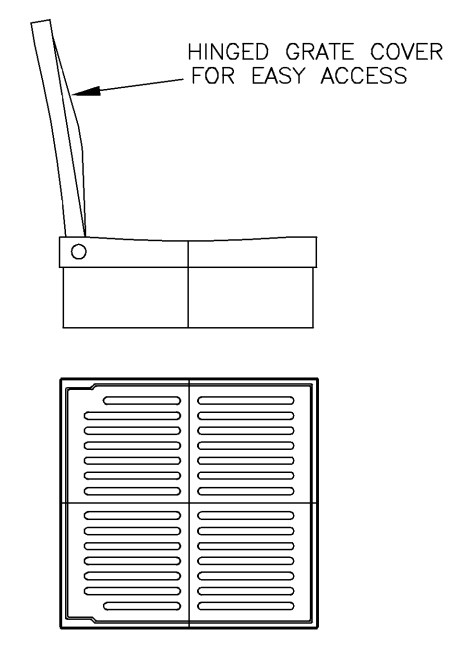
BIO-RETENTION DETAIL
NOT TO SCALE



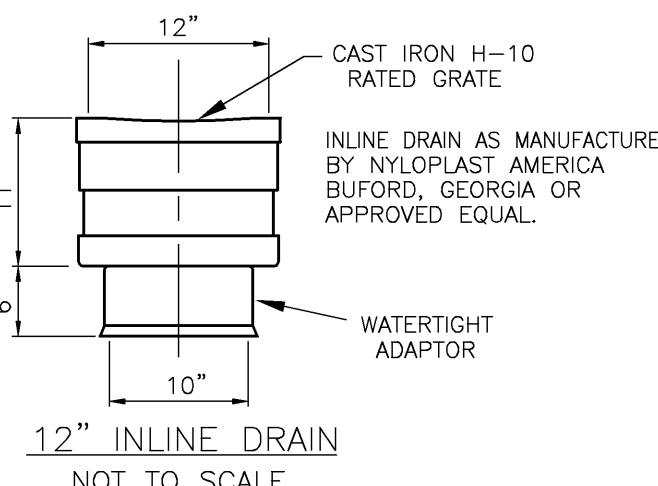
PROPOSED PAVEMENT SECTION
NOT TO SCALE



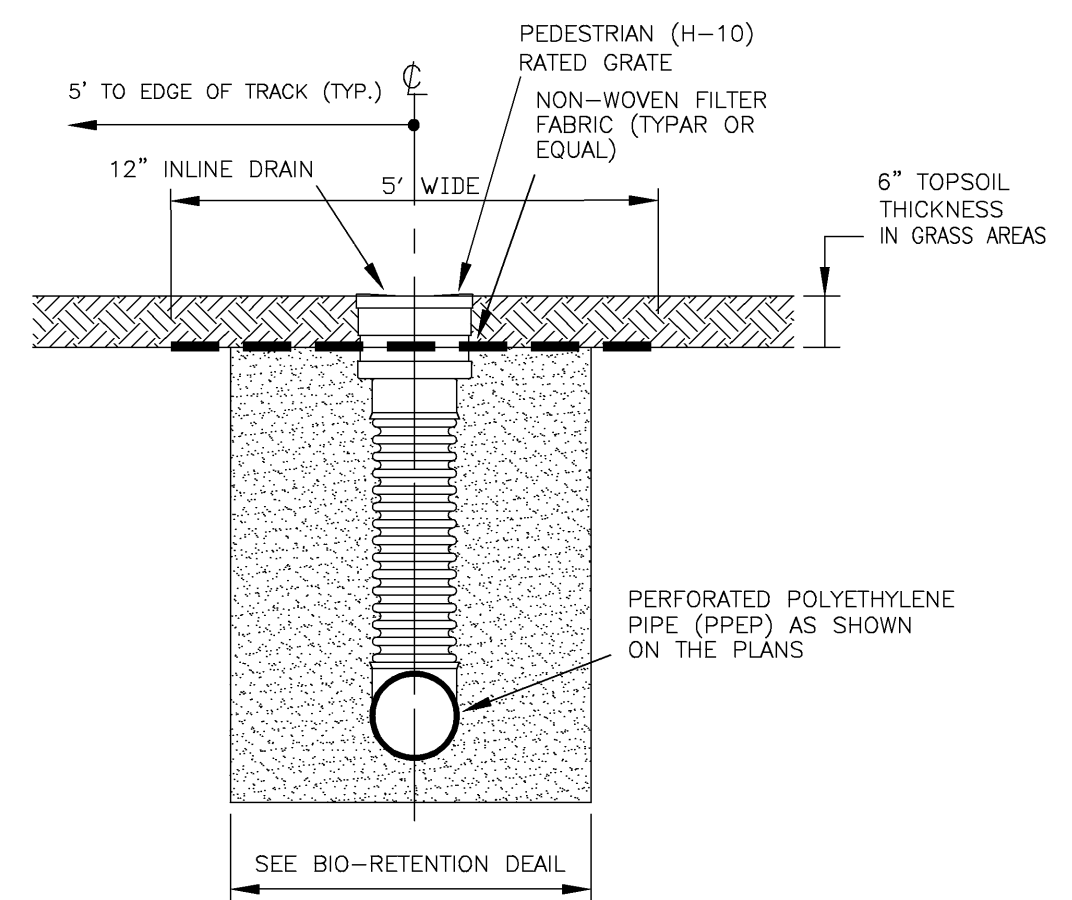
PROPOSED PERMEABLE PAVER SECTION
NOT TO SCALE



PEDESTRIAN (H-10) RATED GRATE
DRAINAREA = 51.0 SQ. INCH



12\"/>



UNDERDRAIN YARD INLET INSTALLATION
NOT TO SCALE

SITE CONSTRUCTION GENERAL NOTES

1. THESE PLANS HAVE BEEN PREPARED WITHOUT THE USE OF A FULL SET OF ARCHITECTURAL PLANS FOR THIS PROJECT. RUETTIGER, TONELLI & ASSOC. TAKES NO RESPONSIBILITY FOR DISCREPANCIES BETWEEN THESE PLANS AND THE FINAL ARCHITECTURAL PLANS. FOR THE FOLLOWING ITEMS, REFER TO THE ARCHITECTURAL PLANS: BUILDING DIMENSIONS; BUILDING FOOTPRINTS AND DETAILS; CONCRETE SURFACE JOINTING DESIGN AND DETAILS; ROOF DRAINAGE CONNECTIONS; LIGHTING DESIGN AND DETAILS; SITE SIGNAGE DESIGN AND DETAILS; CONSTRUCTION MANAGEMENT, SCHEDULING AND / OR PHASING. ALL ITEMS ON THESE PLANS NOTED "SEE ARCHITECTURAL PLANS".
2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS, STATIONING, AND GRADES SHOWN ARE REFERENCED TO THE BACK OF, AND THEREFORE THE TOP OF, THE CURBLINE.
3. ALL NEW CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION; AND "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" - ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
4. THE OWNER AND/OR CONTRACTOR ARE REQUIRED TO FILE A NOTICE OF INTENT (NOI) WITH THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (EPA) RELATIVE TO STORM WATER DISCHARGE QUALITY, AND OBTAIN A GENERAL PERMIT 18-10 OR OTHER NATIONAL POLLUTANT ELIMINATION SYSTEM (NPDES) PERMIT AS MAY BE REQUIRED PRIOR TO ANY SITE CONSTRUCTION.
5. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE VILLAGE OF DOWNERS GROVE.
6. UNLESS NOTED OTHERWISE, ANY UNDERGROUND SEWER OR DRAIN TILE SHALL REMAIN IN OPERATION, AND IF DAMAGED SHALL BE REPAIRED TO EXISTING OR BETTER CONDITION. THE OWNER OF THE TILE AND THE CITY SHALL BE NOTIFIED BEFORE TRENCH IS BACKFILLED.
7. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE OWNER, CITY AND ENGINEER IF THERE IS ANY DISCREPANCY BETWEEN THE PLANS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH ANY STAGE OF CONSTRUCTION OF PROPOSED IMPROVEMENTS.
8. GRANULAR BACKFILL TO BE CRUSHED LESTONE CA-6.
9. EROSION CONTROL TO BE APPLIED PER THE ILLINOIS PROCEDURES FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL MANUAL, LATEST EDITION.
10. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COMPLETELY REMOVE AND PROPERLY DISPOSE OF EXISTING STRUCTURES, DEBRIS, WASTES AND VEGETATION FROM THE SITE AS NOTED ON THE PLAN OR AS MAY BE REQUIRED TO PROPERLY COMPLETE HIS WORK. ALL DEBRIS AND SURPLUS MATERIALS REMOVED FROM THE SITE SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NO ON-SITE BURNING OR BURIAL SHALL BE ALLOWED. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER AT ALL TIMES. DEBRIS AND SURPLUS MATERIAL CLEAN UP AND REMOVAL SHALL PROCEED AS THE WORK PROCEEDS. ANY EXISTING WATER AND SANITARY SERVICES ENCOUNTERED FROM PREVIOUSLY DEMOLISHED BUILDINGS SHALL BE ABANDONED AND CAPPED OFF.
11. **TRAFFIC CONTROL:** ALL WORK CONDUCTED WITHIN ANY PUBLIC RIGHT OF WAY SHALL BE GOVERNED BY THE APPLICABLE ARTICLES OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE LATEST EDITION OF THE ILLINOIS MANUAL ON URBAN TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS. WORK SHALL INCLUDE FURNISHING, INSTALLING, MAINTAINING, RELOCATING AND REMOVING ALL TRAFFIC CONTROL DEVICES USED FOR THE PURPOSE OF REGULATING, WARNING OR DIRECTING TRAFFIC DURING THE CONSTRUCTION OF ANY IMPROVEMENTS, LOADING AND UNLOADING OF MATERIALS, MOBILIZATION OF EQUIPMENT, CLEANING OF PAVEMENTS, OR WHENEVER THE SAFETY OF WORKERS OR TRAFFIC MAY BE AN ISSUE. TRAFFIC CONTROL DEVICES INCLUDE: SIGNS AND THEIR SUPPORTS, SIGNALS, PAVEMENT MARKINGS, BARRICADES WITH SAND BAGS, CHANNELING DEVICES, WARNING LIGHTS, ARROW BOARDS, FLAGGERS, OR ANY OTHER DEVICE USED FOR THE PURPOSE OF REGULATING, WARNING OR GUIDING TRAFFIC THROUGH THE CONSTRUCTION ZONE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER LOCATION, INSTALLATION, AND ABANDONMENT OF ALL TRAFFIC. ANY DROP OFF GREATER THAN TWO INCHES WITHIN EIGHT FEET OF THE PAVEMENT EDGE SHALL BE PROTECTED BY TYPE I OR II BARRICADES WITH DOT APPROVED WARNING LIGHTS. THE CONTRACTOR SHALL CONTACT THE GOVERNING HIGHWAY AUTHORITY 48 HOURS IN ADVANCE OF BEGINNING ANY WORK WITHIN THE RIGHT OF WAY.

- RESTORATION**
- ALL DISTURBED AREAS NOT SPECIFICALLY IDENTIFIED FOR LANDSCAPING IMPROVEMENTS OR IMPERVIOUS SURFACE TREATMENTS SUCH AS PAVEMENTS, DRIVES, PATIOS, STOODS, SIDEWALKS OR WALKWAYS SHALL BE FINISHED WITH A MINIMUM OF 6" OF TOPSOIL AND RESTORED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" ADOPTED JANUARY 1, 2002 AS FOLLOWS:
- CLASS 2 SEED PER SECTION 250.
 - FERTILIZED NUTRIENTS IN THE RATIO OF 1:1:1 OF NITROGEN, PHOSPHORUS AND POTASSIUM EACH, ALL AT THE RATE OF 60 LBS/ACRE IN ACCORDANCE WITH SECTION 250.
 - METHOD 2 MULCH PER SECTION 251.
 - CONTRACTOR SHALL MAINTAIN RESTORED AREA AS NEEDED UNTIL GERMINATION IS COMPLETED AND THE OWNER, OR LOCAL AGENCY HAVING JURISDICTION, HAS ACCEPTED THE WORK.

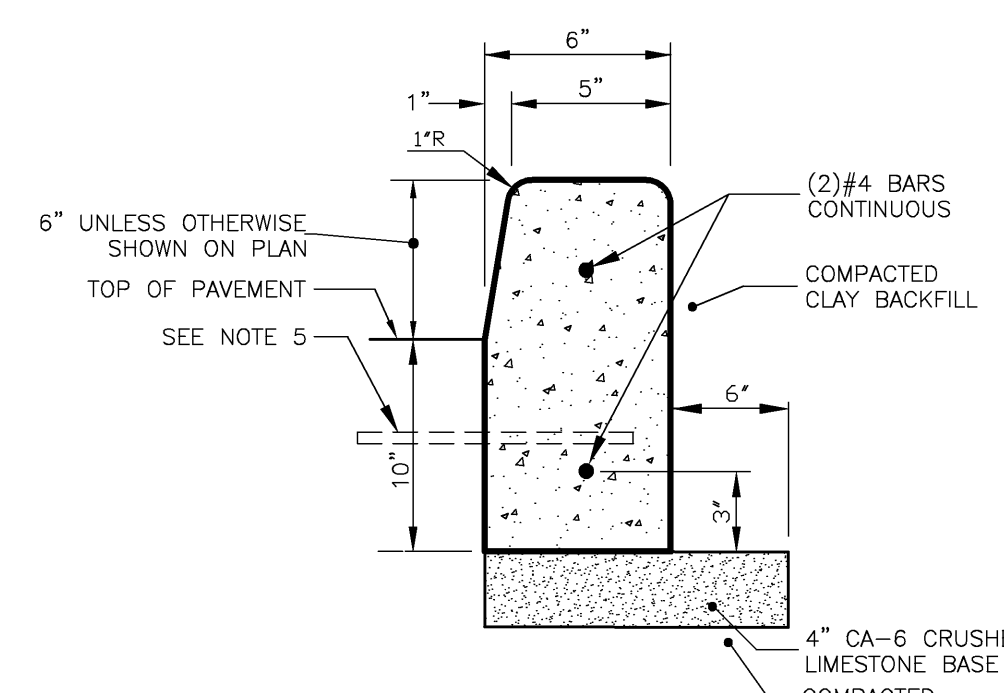
SEWER AND WATER MAIN NOTES:

SANITARY SEWER & WATER MAIN SEPARATION SHALL CONFORM TO SECTION 411-21.01 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.

- SANITARY SEWER SERVICE:**
1. SANITARY SEWER MAIN SHALL BE P.V.C. SDR-35 PER A.S.T.M. D-3024 WITH FLEXIBLE ELASTOMER JOINTS PER A.S.T.M. D3212, OR APPROVED EQUAL.
 2. GRANULAR BEDDING SHALL BE CONSTRUCTED IN CONJUNCTION WITH THE INLINE DRAIN. BEDDING SHALL BE CLASS 1 CRUSHED CA-7 AND AT LEAST 6" OVER TOP OF PIPE PER A.S.T.M. D3212.
 3. SANITARY SEWER SHALL BE AIR PRESSURE TESTED PER THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION). SANITARY SEWER SHALL BE MANDREL TESTED AND A VIDEO INSPECTION PERFORMED.
 4. SANITARY MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH ASTM C1244-93.

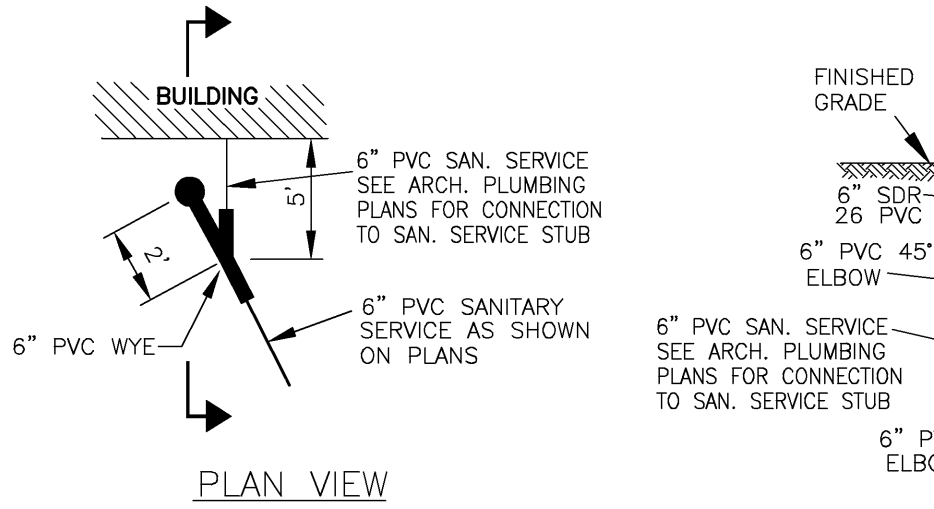
WATER SERVICE:

1. WATER SERVICE SHALL BE TYPE K COPPER OR DUCTILE IRON PIPE AS SHOWN ON DRAWINGS.
2. ALL WATER SERVICE SHALL BE PRESSURE TESTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, JULY, 2006, 6th EDITION.

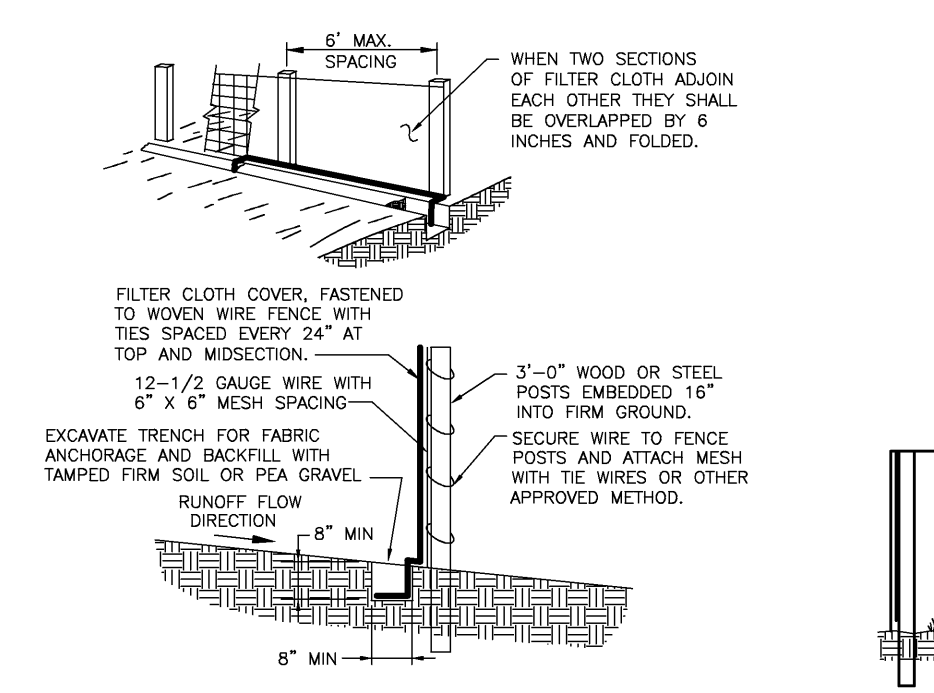


NOTES:

1. CURB TO BE DEPRESSED AT A.D.A. SIDEWALK RAMPS; TRANSITION TO DEPRESSED CURB SHALL BE A MIN. OF 2'-6".
2. A MIN. 1" THICK PREFORMED EXPANSION JOINT FILLER CONFORMING TO THE EXACT CROSS SECTION OF THE CONCRETE CURB AND CUTTER SHALL BE PLACED AT 100 FOOT (MIN.) INTERVALS, AT P.C.'S AND P.T.'S AND AT THE END OF EACH POUR. TWO NO. 6 SMOOTH DOWEL RODS, 18 INCHES IN LENGTH, AND PROPERLY GREASED, SHALL BE INSTALLED AT EACH OF THESE (EXPANSION) JOINTS. CONTRACTION JOINTS, TO BE PROVIDED AT 15 FT. (MIN.) INTERVALS, SHALL BE SAW CUT OR FORMED BY AN APPROVED METHOD. SAW CUT CONTRACTION JOINTS SHALL BE A MINIMUM DEPTH OF 2" ACROSS THE EXPOSED SURFACE OF THE CURB. JOINT SHALL BE SEALED.
3. ALL CURBS SHALL HAVE A TRANSVERSE BROOM FINISH.
4. #6 x 24" TIE BARS AT 24" CENTERS WHERE CURB IS ADJACENT TO CONCRETE PAVEMENT, OR CONCRETE BASE COURSE, IN ACCORDANCE WITH I.D.O.T. STANDARDS.
5. CURB SHALL BE STAMPED "S" AT ALL KNOWN SANITARY SEWER SERVICE LOCATIONS AND STAMPED "W" AT ALL KNOWN WATER SERVICE LOCATIONS. CURB SHALL RECEIVE SERVICE STAMPS FOR ALL NOTES.
6. CURB SHALL BE STAMPED "S" AT ALL KNOWN SANITARY SEWER SERVICE LOCATIONS AND STAMPED "W" AT ALL KNOWN WATER SERVICE LOCATIONS. CURB SHALL RECEIVE SERVICE STAMPS FOR ALL NOTES.

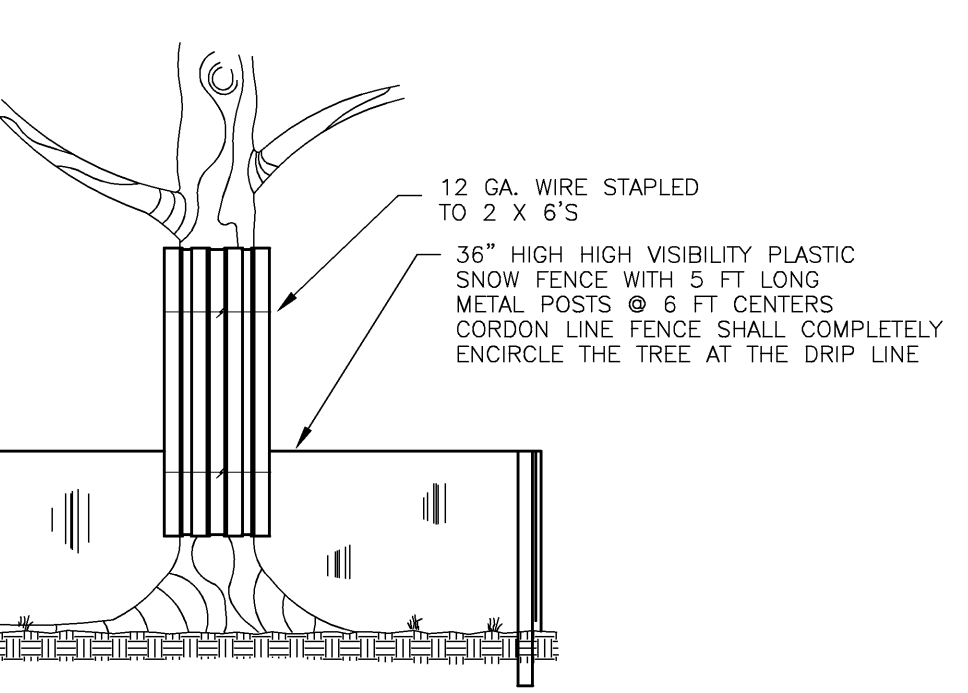


SANITARY SERVICE CLEANOUT
NOT TO SCALE

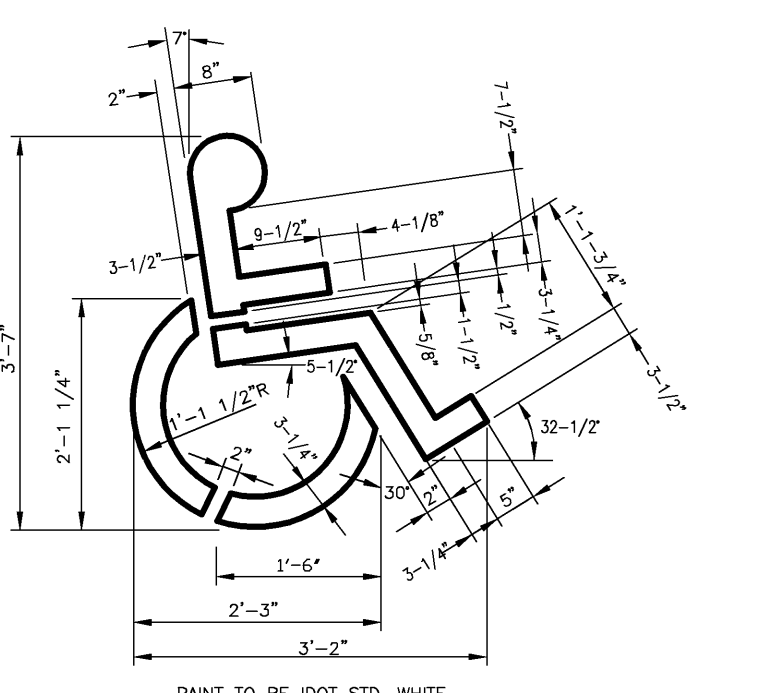


NOTES FOR SILT FENCE

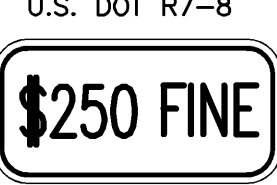
1. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL SHALL BE REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
2. FILTER CLOTH SHALL BE FILTER X, MIRA97 100X, STABILINA T140N, OR EQUAL.
3. PREFABRICATED UNIT SHALL BE GEDFAB, ENWROFENCE, OR EQUAL.



TREE PROTECTION DETAIL
NOT TO SCALE



A.D.A. PARKING SYMBOL
NOT TO SCALE

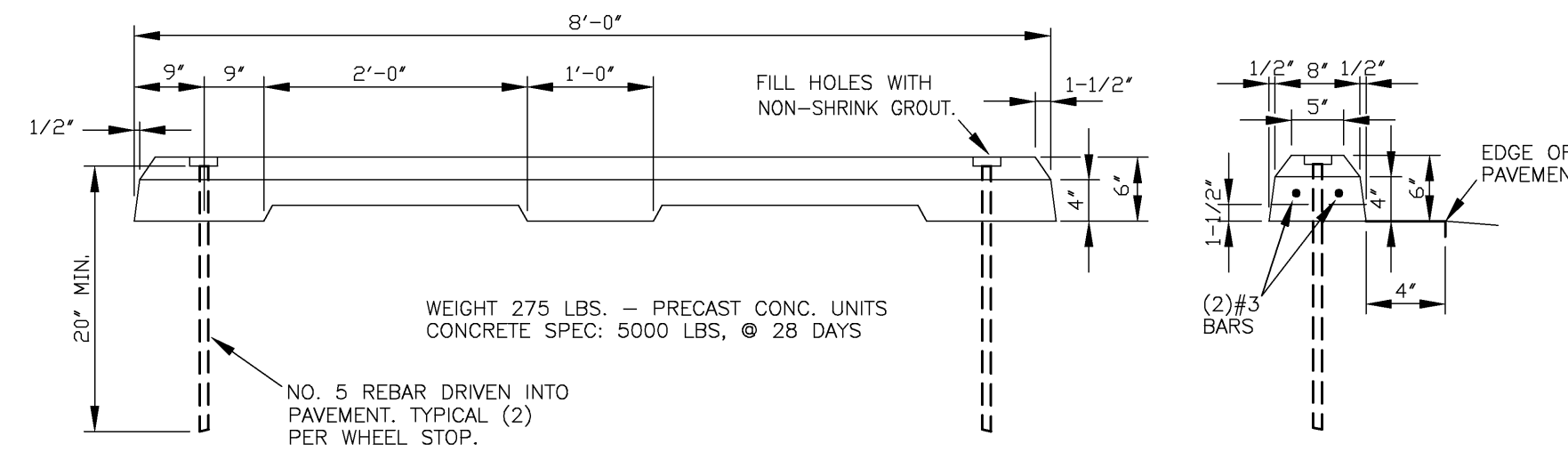


ILLINOIS STANDARD R7-1101
TO BE MOUNTED BELOW R7-8 SIGN

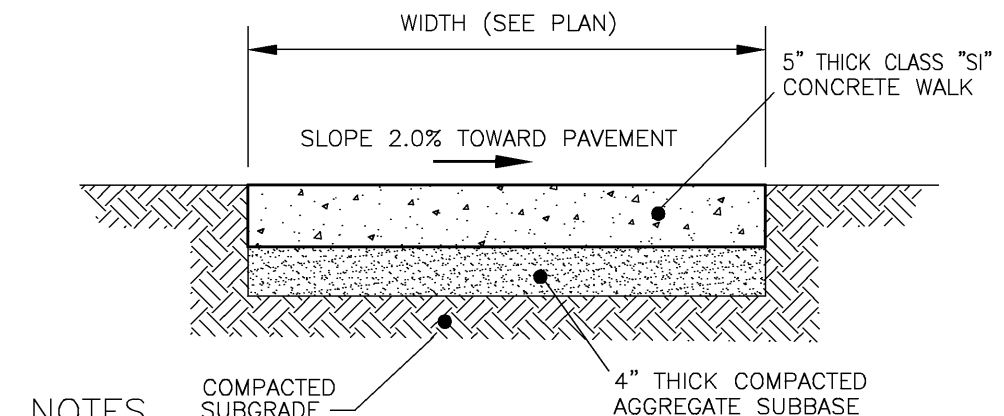
NOTES:

- 1.) SIGNS SHALL MEET ALL OF THE REQUIREMENTS OF THE ILLINOIS ADMINISTRATIVE CODE, LATEST ISSUE FOR HANDICAPPED PARKING SIGNS.
- 2.) FINE IMPOSED MAY BE HIGHER IF REQUIRED BY LOCAL ORDINANCES.

A.D.A. PARKING SIGN INSTALLATION
NOT TO SCALE

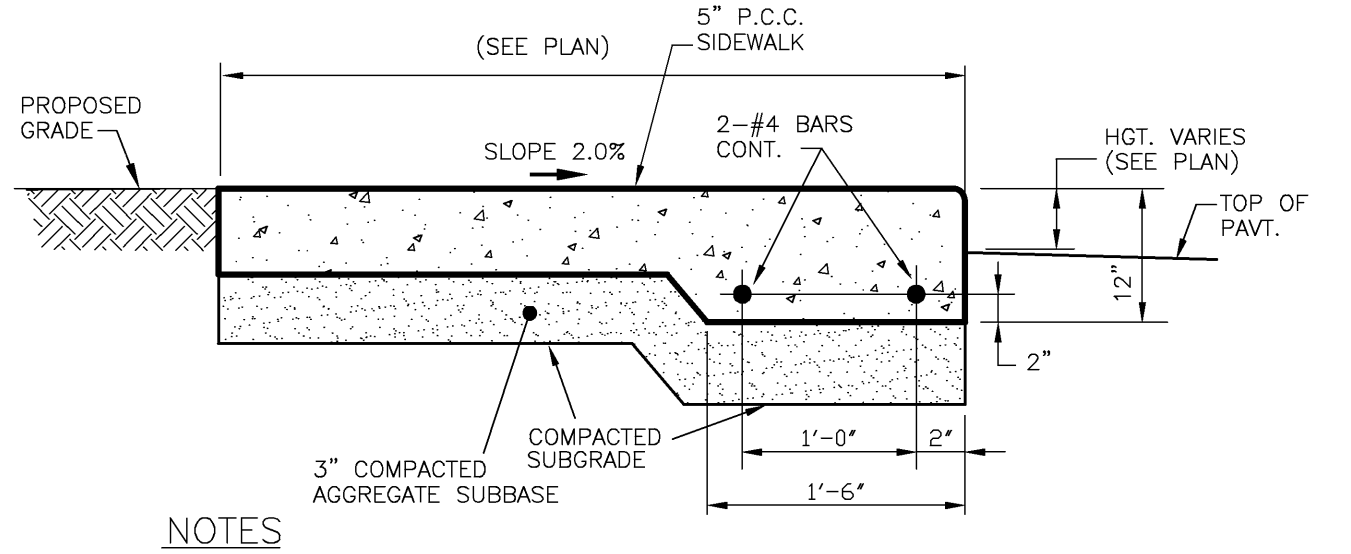


CONCRETE WHEEL STOP
NOT TO SCALE



- NOTES**
1. SURFACE TO BE A LIGHT BROOM FINISH AT RIGHT ANGLES TO THE EDGES OF THE SIDEWALK.
 2. ASPHALTIC FELT EXPANSION JOINTS SHALL BE PROVIDED 30'-0" ON CENTER. WITH 1/2" DEEP CONTROL (FALSE) JOINTS 5'-0" ON CENTER.
 3. ADJUST SIDEWALK LOCATION AS REQUIRED AT EXISTING TREES. NO SIDEWALK TO BE WITHIN TWO FEET (2') OF EXISTING TREE TRUNK.
 4. SIDEWALK THROUGH ENTRANCES SHALL BE 6" THICK WITH 6x6xw1.4xw1.4 WWF STANDARDS.
 5. ALL PUBLIC SIDEWALKS SHOWN ON THE PLANS TO BE REMOVED AND REPLACED SHALL BE REPLACED WITH LIKE KIND (SAME WIDTH, THICKNESS, AND BEDDING AS ORIGINAL).

TYPICAL SIDEWALK
NOT TO SCALE



- NOTES**
1. SURFACE TO BE A LIGHT BROOM FINISH AT RIGHT ANGLES TO THE EDGES OF THE SIDEWALK.
 2. ASPHALTIC FELT EXPANSION JOINTS SHALL BE PROVIDED 20'-0" ON CENTER. WITH 1/2" DEEP CONTROL (FALSE) JOINTS 5'-0" ON CENTER.

P.C.C. BARRIER SIDEWALK
NOT TO SCALE

BARRIER CURB
NOT TO SCALE

REVISIONS

No.	DATE	DESCRIPTION	BY
0	7-1-2010	ISSUED FOR REVIEW	R.P.
1	7-2-2010	REVISED PARKING PER CLIENT	ECH
2	9-2-2010	REVISED NORTH BUILDING PER CLIENT	R.P.
3	10-18-2010	REVISED PER VILLAGE REVIEW	ech

DOCUMENTATION:

PROJECT No.: 20100709
DATE: 6-22-2010
FIELD BOOK: FB. 28-33, P. 51-52
DRAWN BY: R.P.
CHECKED BY: DJZ



Ruettiger, Tonelli & Associates, Inc.
Surveyors • Engineers • Planners • Landscape Architects • G.I.S. Consultants
2174 NEIDA STREET - JOLIET, ILLINOIS 60435
PH. (815) 744-6600 FAX (815) 744-0101
website: www.ruettigertonnelli.com

PROJECT TITLE:
IMPROVEMENT PLANS FOR 4901 BELMONT DRIVE DOWNERS GROVE, IL

DRAWING TITLE:
GENERAL NOTES AND CONSTRUCTION DETAILS

DRAWING No.
310-0709-C1

SCALE:
AS NOTED

ENGINEERING DEPARTMENT
SHEET 5 OF 5

PUBLIC UTILITY EASEMENT PROVISIONS

EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF DOWNERS GROVE, ILLINOIS AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF DOWNERS GROVE, INCLUDING, BUT NOT LIMITED TO, COMMONWEALTH PISON COMPANY, SBC-AMERITECH A.S.A., ILLINOIS REAL TELEPHONE COMPANY, GRANTEES AND NITRO GAS COMPANY AND THEIR SUCCESSORS AND ASSIGNS, OVER ALL OF THE AREAS MARKED "PUBLIC UTILITIES EASEMENTS" ON THE PLAT FOR THE PERPETUAL RIGHT, POWER AND AUTHORITY TO SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS, COMMUNITY ANTENNA TELEVISION SYSTEMS AND INCLUDING STORM AND / OR SANITARY SEWERS, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE, UPON, UPON, UNDER AND THROUGH SAID INDICATED EASEMENTS, TOGETHER WITH RIGHT OF ACCESS ACROSS THE GRANTEE'S PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK.

THE RIGHT IS ALSO GRANTED TO TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENTS THAT INTERFERE WITH THE OPERATION OF THE SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS. WHERE AN EASEMENT IS USED BOTH FOR SEWERS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION SHALL BE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF DOWNERS GROVE.

LAND SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)
WE, RUEITIGER, TONELLI & ASSOCIATES, INC., ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR CORPORATION NO. 184-001251, DO HEREBY CERTIFY THAT AT REQUEST OF THE OWNER THEREOF, WE HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY.

LOTS 437, 438, 439 AND 440 IN BRANIGAN BROTHERS WOODED HOMESITES, BEING A SUBDIVISION IN THE NORTH HALF OF SECTION 7, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED OCTOBER 2, 1920 AS DOCUMENT 144589, IN DU PAGE COUNTY, ILLINOIS.

WE FURTHER CERTIFY THAT THE LAND INCLUDED IN THE ANNEXED PLAT IS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF WHEATON, WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-6 AS HERETOFORE AND HEREAFTER AMENDED.

DATED THIS 9th DAY OF SEPTEMBER, A.D. 2010.

David J. Zientek
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-3524
LICENSE EXPIRES NOVEMBER 30, 2010



OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)
THIS IS TO CERTIFY THAT _____ IS THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THE ANNEXED PLAT, AND THAT AS SAID OWNER HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTES, AND SAID OWNER DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE AFORESAID.

DATED THIS ____ DAY OF _____ A.D., 2010.

OWNER: _____

BY: _____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)
I, _____ A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SAID OWNER, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE SIGNED AND DELIVERED THE ANNEXED PLAT AS HIS/HER OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL.

NOTARY PUBLIC SIGNATURE

PRINT NAME

DOWNERS GROVE SANITARY DISTRICT COLLECTOR'S CERTIFICATE

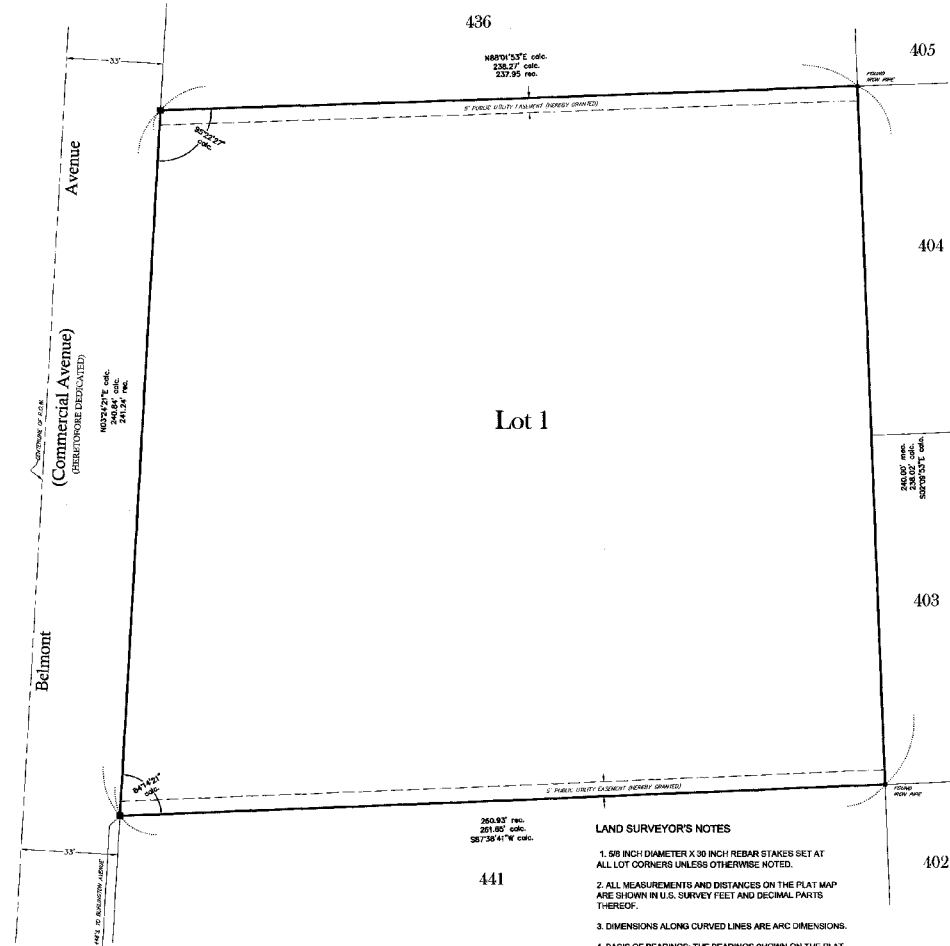
STATE OF ILLINOIS)
COUNTY OF DU PAGE)
I, _____ COLLECTOR FOR THE DOWNERS GROVE SANITARY DISTRICT, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE ANNEXED PLAT.

DATED AT DOWNERS GROVE, ILLINOIS, THIS ____ DAY OF _____ A.D., 20 ____

DOWNERS GROVE SANITARY DISTRICT COLLECTOR

BELMONT AVENUE SUBDIVISION

OF
LOTS 437, 438, 439 AND 440 IN BRANIGAN BROTHERS WOODED HOMESITES, BEING A SUBDIVISION IN THE NORTH HALF OF SECTION 7, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED OCTOBER 2, 1920 AS DOCUMENT 144589, IN DU PAGE COUNTY, ILLINOIS.



436

238.27' cor.
237.95' cor.

Lot 1

441

260.87' cor.
261.80' cor.
267.90' 41° cor.

LAND SURVEYOR'S NOTES

- 1. 5/8 INCH DIAMETER X 30 INCH REBAR STAKES SET AT ALL LOT CORNERS UNLESS OTHERWISE NOTED.
2. ALL MEASUREMENTS AND DISTANCES ON THE PLAT MAP ARE SHOWN IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.
3. DIMENSIONS ALONG CURVED LINES ARE ARC DIMENSIONS.
4. BASIS OF BEARINGS: THE BEARINGS SHOWN ON THE PLAT MAP ARE BASED ON THE ASSUMED VALUE OF N 89°01'53" E FOR THE SOUTH LINE OF LOT 436.
5. ALL EASEMENTS DEPICTED ON THE PLAT MAP HEREOF ARE HEREBY GRANTED FOR PUBLIC UTILITIES AND DRAINAGE PURPOSES UNLESS OTHERWISE NOTED THEREON. REFER TO THE PUBLIC UTILITIES AND DRAINAGE EASEMENT PROVISIONS STATEMENT HEREOF FOR SPECIFIC TERMS AND CONDITIONS.

DU PAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)
THIS INSTRUMENT NUMBER _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DU PAGE COUNTY, ILLINOIS, AFORESAID ON THE ____ DAY OF _____ A.D. 20 ____ AT ____ O'CLOCK ____ M. AND WAS RECORDED IN BOOK ____ OF PLATS ON PAGE ____

COUNTY CLERK DU PAGE COUNTY RECORDER OF DEEDS

SURFACE WATER STATEMENT

STATE OF ILLINOIS)
COUNTY OF DU PAGE)

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBMISSION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBMISSION. I HEREBY CERTIFY THAT THE PROPERTY WHICH IS THE SUBJECT OF THIS SUBDIVISION OR ANY PART THEREOF IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

DATED THIS 9th DAY OF SEPTEMBER, A.D., 2010.

David J. Zientek
RUEITIGER, TONELLI & ASSOCIATES, INC.
DAVID J. ZIENTEK
ILLINOIS REGISTERED PROFESSIONAL ENGINEER
NO. 062-050661
STATE REGISTRATION NUMBER



NOVEMBER 30, 2011
REGISTRATION EXPIRATION DATE

OWNER: _____ BY: _____

VILLAGE COUNCIL CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)
APPROVED AND ACCEPTED BY THE MAYOR AND VILLAGE COUNCIL OF THE VILLAGE OF DOWNERS GROVE, ILLINOIS, AT A MEETING HELD

THE ____ DAY OF _____ A.D., 20 ____

BY: _____ MAYOR _____ VILLAGE CLERK _____

VILLAGE COLLECTOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)
I, _____ COLLECTOR FOR THE VILLAGE OF DOWNERS GROVE, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED AT DOWNERS GROVE, ILLINOIS, THIS ____ DAY OF _____ A.D., 20 ____

VILLAGE COLLECTOR

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)
APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF DOWNERS GROVE AT A MEETING HELD THE ____ DAY OF _____ A.D., 2010.

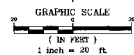
BY: _____ CHAIRMAN _____

DEPARTMENT OF TRANSPORTATION/HIGHWAYS CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)
THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (OR RELEVANT LOCAL HIGHWAY AUTHORITY) WITH RESPECT TO ROADWAY ACCESS PURSUANT TO ILLINOIS COMPILED STATUTES CH. 765, SEC. 205/2; HOWEVER, A HIGHWAY PERMIT IS REQUIRED OF THE OWNER OF THE PROPERTY. A PLAN THAT MEETS REQUIREMENTS CONTAINED IN THE DEPARTMENT'S POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS (OR SPECIFICATIONS OF THE RELEVANT LOCAL HIGHWAY AUTHORITY), WILL BE REQUIRED.

THIS ____ DAY OF _____ A.D., 20 ____

BY: _____ STATE/LOCAL HIGHWAY AUTHORITY



LEGEND table with symbols for: MEASURED, RECORDED, UNCORRECTED, FIELD SURVEY MONUMENT BY OWNER, SET BY MEASUREMENTS THROUGH FIELD.

Table with columns: NO., DATE, DESCRIPTION, REVISIONS, BY. Includes project details for Rueitiger, Tonelli & Associates, Inc. and RUPIS ASSOCIATES ARCHITECTS.

APPROVED 11/1/2010

VILLAGE OF DOWNERS GROVE
PLAN COMMISSION MEETING
PUBLIC HEARING

OCTOBER 4, 2010, 7:00 P.M.

Chairman Jirik called the October 4, 2010 meeting of the Plan Commission to order at 7:00 p.m. and asked for a roll call:

PRESENT: Chairman Jirik, Mr. Beggs, Mr. Cozzo, Mrs. Hamernik, Mr. Quirk, Mr. Matejczyk, Mrs. Rabatah, Mr. Waechtler, Mr. Webster

STAFF PRESENT: Village Planning Manager Jeff O'Brien; Planners Stan Popovich and Damir Latinovic

VISITORS: Ken Malinowski, Flavorchem Corp, 1525 Brook Dr., Naperville, IL; Dave Tuszynski, Heitman Architects, 555 Pierce Rd., Itasca, IL; Kevin Kane, 4914 Pershing Ave., Downers Grove; A.J. Peters, 922 Warren Ave., Downers Grove; Joan Weeks, 4909 Pershing, Downers Grove; Nancy Larson, 4915 Pershing Ave., Downers Grove; Mark Rupsis, Rupsis Associates Architects, 956 Summit Creek, Shorwood, IL; Michele Herlihy Jachim, Pawsitively Balanced, 4613 Linscott Ave., Downers Grove; Willis Johnson, 603-635 Rogers, LLC, 603 Rogers St., Downers Grove

Chairman Jirik led the Plan Commissioners in the recital of the Pledge of Allegiance.

SEPTEMBER 13, 2010 MEETING MINUTES - MR. WAECHTLER MADE A MOTION TO APPROVE THE MINUTES AS PREPARED, SECONDED BY MR. COZZO. MOTION CARRIED BY VOICE VOTE OF 9-0.

An explanation of the meeting's protocol followed.

PC-09-10 A petition seeking a Special Use to permit two principal buildings on a single parcel and a Final Plat of Subdivision to consolidate four lots into one lot for the property located on the east side of Belmont Road, approximately 450 feet north of the intersection of Belmont Road and Warren Avenue, commonly known as 4901 Belmont Road, Downers Grove, Illinois (PIN # 08-12-212-011); Mark J. Rupsis, Rupsis Associates Architects, P.C., Petitioner; DLM Management, Owner.

Chairman Jirik swore in those individuals who would be speaking on PC-09-10.

Village Planner, Mr. Damir Latinovic discussed that the 1.36 acre property under discussion currently consists of four lots of record and is located on the east side of Belmont Road north of Warren Avenue. The site is zoned R-6 Multiple Family Residence and has a two-story multiple family building on the south side of the property. A 16-car garage sits on the eastern portion of the property. Mr. Latinovic reported that on April 5, 2010 the second principal structure, a two-story 16-unit building occupying the northern part of the site was destroyed by fire and was demolished.

The petitioner is seeking a Special Use approval and final plat of subdivision approval to consolidate the four lots into one lot in order to construct a 15-unit, three-story building to replace the structure that was destroyed by fire. The proposal will meet all zoning requirements and meet all minimum lot dimension requirements.

The proposed three-story masonry building will be 34 feet-4 inches to the middle of the roof line, which meets code, will include a hipped roof, and will be located 25 feet from the front property line. It will sit 24.1 feet from the north property line. Along with the current 16 parking spaces in the existing garage, there will be a total of 70 parking spaces on the property. Three handicap spaces will also be provided. The building will include an elevator. The current access to Belmont Road will remain.

The Future Land Use Plan ("FLUP") designates the site as Residential with 11 to 25 units per acre. The proposed 15-unit north building, along with the existing 20-unit south building, will have a density of 25.69 units per acre, which is in accordance with the FLUP.

The property is surrounded by multiple family residential uses to the north while single-family residences are to the east. A commercial property is located south of the site while a commuter parking lot occupies the property west of the site across Belmont Road. The proposed multiple family building is compatible with surrounding uses and it meets the Village's Zoning Ordinance. The proposed lot consolidation and Special Use will bring the property into full compliance with the zoning ordinance. Should the proposal be approved, staff recommends that a condition be placed in the motion that the garbage dumpsters that are located in the southeast corner of the property be relocated to the area east of the new building.

As to the lot consolidation, Mr. Latinovic reported that the new lot conforms to the Village's Subdivision Ordinance and will be approximately 240 feet wide by 238 feet deep, which exceeds the minimum requirements, along with a new five-foot wide public utility and drainage easement along the side lot lines. Because the footprint of the new building is smaller than the previous building, he stated the impervious surface will be reduced. However, the petitioner is proposing to add new asphalt areas to connect the existing parking lot with the new parking area on the first floor of the proposed building and will need to construct a bio-swale area (southeast corner of site) to comply with the DuPage County's Best Management Practices for treatment of the stormwater runoff.

Per Mr. Latinovic, staff is recommending that the two proposed striped-asphalt parking islands be converted to landscaped islands. The fire department is requiring the building to have fire sprinklers (including the first floor parking) and equipped with a manual and automatic fire alarm system.

To date, some neighbors have expressed concern about the height of the building, even though it meets code, and water run-off from the site.

Staff believes the proposal meets the requirements of the Subdivision Ordinance, the Zoning Ordinance, and the FLUP, and believes the standards for a Special Use have been met. Staff also believes the proposed use will not be detrimental to the health, safety, and general welfare of the public, nor have a negative effect on surrounding properties. Staff recommended that the Plan

Commission forward a positive recommendation to the Village Council with the recommendations listed in staff's report.

Commissioner questions followed on the sprinklering of the southern building, to which Mr. Latinovic noted that he had no information regarding the south building and if it has a sprinkler system or if a sprinkler system was required by code back in 1991. He noted that the Commission had no jurisdiction over the southern building at this time. Other questions followed on the location of the existing garbage dumpsters compared to the new area, the number of current parking spaces compared to the ones being proposed, and screening between the proposal and the residential area to the east. Mr. Latinovic confirmed the proposed southeast retention area will be a combination of plants and rocks. The Chairman recommended some verbiage changes to staff's conditions, specifically as it relates to "two" principal buildings and the word "substantially" since he was concerned about creating a loophole for the petitioner to modify the plans and not have to return for review.

Village Planning Manager, Mr. Jeff O'Brien, explained the term "substantially" was added in order to counter a prior de-facto variance that was approved and he explained the term is used when a petitioner changes the appearance of the building or the plans deviates significantly from what was originally approved or discussed. Mr. Waechtler shared the Chairman's concerns. Mrs. Hamernik stated there were enough checks and balances and that the wording was fine in her opinion.

Petitioner, Mr. Mark Rupsis, 956 Summit Creek Drive, Shorwood, Illinois, architect for the proposal, discussed his original intentions for the building, and, in working with staff, believed a better building was created which met all Village codes. He explained that stormwater would be better filtered when it ran off the site. Except for the dumpster relocation and the two landscaped islands, he respectfully requested that the Special Use and lot consolidation be granted.

Questions were raised by some commissioners regarding the two previous fires that occurred, the safety of inhabitants in the existing building, and the costs associated with sprinklering an existing building.

Chairman Jirik opened up the meeting to public comment.

Mr. Kevin Kane, 4914 Pershing Avenue, said he resides on the southeast side of the property and currently receives most of the water from the property under discussion. He submitted photographs from 2008 for the commissioners to review. He noted the flow of the water in the photos. Mr. Kane said he undertook a project with the village to correct it in 2009, i.e., adding a manhole, landscaping berms, etc. He explained that silt and a variety of garbage comes across the water flow, along with liquids from the cars that park there. In reviewing the proposed building plans, he voiced concern about the expanded parking lot and what the water run-off would do to his property.

Mr. Kane elaborated on the discussion he had with Mr. Rupsis regarding the swale and how it would address his property. He voiced concern about the size of the swale and the fact that no water flow study had been done. Mr. Kane discussed his own research on the minimum width and depth requirements for the swale, noting they were to be anywhere from 600 to 1,000 sq. feet, and not as proposed. No evidence of that existed, to date. He voiced concern as to how long the water would sit and believed a more effective barrier should exist between the two properties. Mr. Kane presented more photographs of a property that sits south of the proposed site, which also funnels to

his property. Photos of the existing parking lot and its current condition were also distributed. Mr. Kane suggested placing a steel grate between the two properties in order to catch the garbage that flows onto his property.

Responding to a question, Mr. Latinovic stated the village engineer did review the plans and said a condition exists in staff's report that states the engineer has to provide engineering calculations that show that the bio-swale and entire development will meet the stormwater requirements.

Ms. Joan Weeks, 4909 Pershing Avenue, resides across the street from Mr. Kane. She voiced concern about the additional water flow that will be occurring on Pershing and the fact that multiple plants are not going to solve the water problem. She discussed the water problems that existed years ago and the fact that she has standing water year-round between her house and her neighbors and it never freezes and is a mosquito haven. She supported whatever was built on the property as long as it did not increase the water problems for the residents. She invited the commissioners to view her videos of the water flow throughout the four seasons.

Ms. Nancy Larson, 4915 Pershing Avenue, said the area north of her house was a marsh. After it rains, she has a 3- to 4-foot river in the rear of her yard. While the footprint of the building will be reduced, she voiced concern that the footprint of the blacktop will be increased. She believed other solutions exist other than blacktop. She shared her neighbors' concerns.

Mr. Kane, 4914 Pershing, stated that an obvious solution would be adding a drainage system in the southeast corner of the site, due to the damage that the water currently causes, before the plan is approved.

There being no further comments, public participation was closed.

Mr. Rupsis responded by acknowledging the water concerns being raised and he stated that he was trying to mitigate any additional water flow that would occur on the site. He stated the owner was trying to be a good neighbor by making improvements with this project. He stated he would ask the project engineer to ensure that BMPs were met and that the engineering calculations complied.

Commissioners followed up with questions about the square footage of the swale to which Mr. Latinovic explained that the area affected by the regrading for the bio-swale will be approximately 500 square feet, but that Mr. Kane recently spoke with the engineer, who indicated that the actual bio-swale area would be less than that. He confirmed that the swale would have to meet the Village's stormwater ordinance. Mr. Latinovic further clarified that the impervious area of the property will be reduced, not increased (formerly 73.7% of impervious surface as compared to the proposed 71.8%). Asked if the calculations were going to address the entire lot or just those lots for the proposed building, Mr. Latinovic said it will reflect the entire impervious area on the property before the fire and after the proposed building is constructed.

Mr. Matejczyk said he understood the neighborhood had water issues, he felt the site, as proposed, would improve the conditions. The Chairman agreed in the sense that the proposal would not exacerbate the water issue of the area and would likely improve it. He believed that the solution should be further worked out prior to this matter going forward to the Village Council.

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The basis for determining the run-off was explained by Mr. Latinovic. Asked if the combining of the four lots contributed to the run-off, Mr. Latinovic responded it does not. Discussion followed among the commissioners that the proposal could not make the water issues worse but, in fact, could improve the water situation. It was suggested that the discussion at hand could make the Village Council aware of a larger issue. Mr. Waechtler concurred with Mr. Cozzo's comments about the water issue.

Asked if the steel fence could be something considered by the petitioner, Mr. Rupsis stated he would have to speak to his engineer and review the details, as he could not answer the question. Mrs. Hamernik believed the petitioner had some room for revision, citing the fact that possibly parking space number 70 could be relocated and that area then used for a larger bio-swale area. She stated she would like the engineer to explore this and other possibilities to improve the current proposal for treatment of the stormwater runoff. Mr. Rupsis concurred with the suggestion.

WITH REGARD TO FILE PC-09-10, MR. MATEJCZYK MADE A MOTION THAT THE PLAN COMMISSION FORWARD A POSITIVE RECOMMENDATION TO THE VILLAGE COUNCIL APPROVING THE PROPOSED SPECIAL USE REQUEST FOR TWO (2) PRINCIPAL BUILDINGS ON ONE LOT AND A FINAL PLAT OF SUBDIVISION TO CONSOLIDATE THE EXISTING LOTS INTO ONE NEW LOT, SUBJECT TO FOLLOWING CONDITIONS:

- 1. THE PROPOSED LOT CONSOLIDATION AND SPECIAL USE REQUEST SHALL SUBSTANTIALLY CONFORM TO THE ARCHITECTURAL PLANS PREPARED BY RUPSIS ASSOCIATES ARCHITECTS, P.C. LAST REVISED ON SEPTEMBER 3, 2010, AND ENGINEERING PLANS PREPARED BY RUETTIGER, TONELI & ASSOICATES, INC. DATED JUNE 22, 2010, LAST REVISED SEPTEMBER 2, 2010 ATTACHED TO STAFF REPORT DATED OCTOBER 4, 2010 EXCEPT AS SUCH PLANS MAY BE MODIFIED AS NECESSARY TO CONFORM TO VILLAGE CODES, ORDINANCES, AND POLICIES.**
- 2. PRIOR TO ISSUANCE OF THE BUILDING PERMIT, ENGINEERING CALCULATIONS MUST BE SUBMITTED DEMONSTRATING COMPLIANCE WITH THE STORMWATER ORDINANCE AND DUPAGE COUNTY'S BEST MANAGEMENT PRACTICES FOR TREATMENT OF THE STORMWATER RUN-OFF.**
- 3. THE TWO INTERIOR STRIPED ISLANDS SHALL BE CONVERTED TO FULL LANDSCAPED ISLANDS WITH CURB, GUTTER AND LANDSCAPED MATERIALS. ALTERNATIVELY, THE PETITIONER MAY RELOCATE THE TWO SOUTHERNMOST PARKING SPACES TO THE STRIPED ISLAND AND EXPAND THE BIO-RETENTION AREA IN THE SOUTHEAST CORNER OF THE PROPERTY.**
- 4. THE GARBAGE DUMPSTERS SHALL BE RELOCATED TO THE AREA NORTHEAST OF THE NEW BUILDING. A SIX-FOOT HIGH SOLID FENCE SHALL BE INSTALLED AROUND THE GARBAGE DUMPSTER AREA.**

SECONDED BY MRS. HAMERNIK. ROLL CALL:

AYE: MR. MATEJCZYK, MRS. HAMERNIK, MR. BEGGS, MR. COZZO, MR. QUIRK, MRS. RABATAH, MR. WAECHTLER, MR. WEBSTER, CHAIRMAN JIRIK
NAY: NONE

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MOTION PASSED. VOTE 9-0.























